COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B

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SITE
340 COGGINS RD.
LA HONDA, CA.
94020

VICINITY MAP

N.T.S.

PROJECT DATA		
OWNERS	COGGINS TRUST	
CONTRACTOR:	FOUR WINDS CONSTRUCTION CONTRACTOR # B514791	
APN:	083-310-150	
ADDRESS:	340 COGGINS RD. LA HONDA, CA. 94020	
PROJECT:	(N) SINGLE FAMILY HOME - W/ 2-CAR GAR. 2197 S.F. (N) GUEST HOUSE 691 S.F. & PORCH 142 S.F. W/ COVERED CARPORT (N) 2000 GAL. WATER STOR. TANK (N) PROPANE TANK	
GENERAL PLAN DESIGNATION	RESIDENTIAL LOW DENSITY	
ZONED:	RM	
LOT SIZE:	193,478 SQ. FT.	(4.4 ACRES)
LOT COVERAGE	1.82 %	
OCCUPANCY:	CONSTRUCTION TYPE: V-B	
(N) HOUSE HGT.	14'-8"	
(N) MANUF. HOME		1597 SQ.FT.
(N) 2 CAR GARAGE		440 SQ.FT.
(N) CONC. WALK, PROPANE & WATER TANK PADS		151 SQ.FT. 340 SQ.FT.
(N) GUEST HOUSE (N) ATTACHED COVERED PORCH		887 SQ.FT.
(N) COVERED CARPORT		288 SQ.FT.
TOTAL BUILT LOT COVERAGE		3363 SQ.FT.
	TOTAL IMPERVIOUS AREA	3523 SQ.FT.

PROJECT DATA

DRAINAGE CONTROL NOTES: SEE SHT. 1.2 FOR ADDITIONAL NOTES & DETAILS

1. ROOF RUNOFF TO BE GROUND PERCOLATED VIA DISPERSION PIT AS SHOWN.

2. SLOPE FIN. GRADE 5% AWAY FROM FOUNDATION MIN. 10 FT. ALL SIDE.

GRADING NOTES

GRADING: MINIMUL GRADING REQ'D

DRIVEWAY – MINIMAL GRADING

ANY EXCESS FILL MATERIAL NOT USED FOR BACKFIL AROUND FOUNDATION FOR POSITIVE DRAINAGE TO BE SPREAD ON SITE NOT MORE THAN 12" DEEP.

SEE SHT 1.2 FOR ADDITIONAL NOTES

NO TREES TO BE REMOVED

NOTE:

IF ARCHAEOLIGOGICAL RESOURCES OR HUMAN REMAINS ARE ACCIDENTALLY DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIES PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.

NOTE:

TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE.

THE LETTERS/NUMBERS FOR PERMANENT ADDRESS SIGNS SHALL BE ADEQUATE SIZE AND OF A COLOR WHICH IS CONTRASTING TO BACKGRIOUND. IN NO CASE SHALL THE LETTERS/NUMBERS BE LESS THAN 4 INCHES IN HEIGHT WITH A MIN. 3/4" STROKE.

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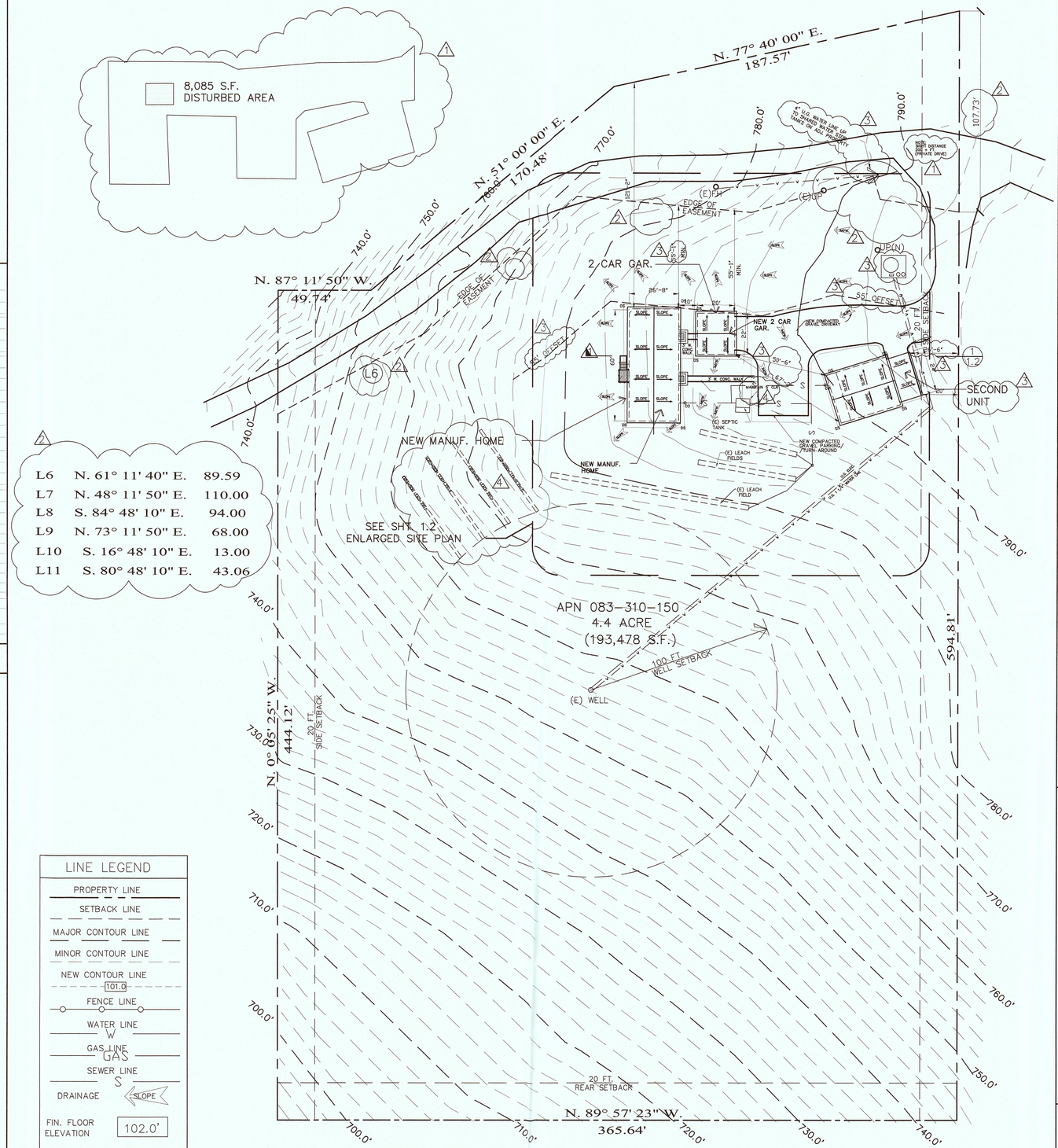

LINE LEGEND

- PROPERTY LINE
- SETBACK LINE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- NEW CONTOUR LINE 101.0
- FENCE LINE
- WATER LINE W
- GAS LINE GAS
- SEWER LINE S
- DRAINAGE SLOPE
- FIN. FLOOR ELEVATION 102.0'

SITE PLAN

SCALE 1"= 30 FT.

NOTE: TYPE OF CONSTRUCTION V–B

PROJECT SHALL COMPLY WITH TITLE 24 AND
2016 CALIFORNIA RESIDENTIAL CODE (CRC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN)

NOTE:

STATE OF CA RETAINS FULL AUTHORITY FOR THE ISSUANCE OF PERMITS AND SUBSEQUENT INSPECTION OF ANY PROPOSED ALTERATION, REMODEL OR ADDITION TO THIS MANUFACTURED HOME, INCLUDING ANY ACCESSORY STRUCTURES. ANY SUCH WORK MUST BE APPROVED BY CA STATE HCD PRIOR TO INSTALLATION

NOTE:
ALL MANUFACTURED'S INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.

NOTE:
"HIGH FIRE HAZARD SEVERITY ZONE"
DELIVERED HOME IS REQUIRED TO BE LABELED FOR COMPLIANCE AS SPECIFIED IN TITLE 25 SECTION 4214

NOTE:

HOME SHALL HAVE HUD APPROVAL CERTIFICATION AFFIXED TO EACH SHIPPED SECTION.

ANY ALTERATIONS TO THE MANUFACTURED HOME MUST BE APPROVED BY THE CALIFORNIA DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT.

SHEET INDEX

WINTER OPERATION NOTES

OCTOBER 15 THRU APRIL 15

WHEN WINTER OPERATIONS TAKE PLACE, THE FOLLOWING MEASURES MUST BE TAKEN TO PREVENT ACCELERATED EROSION.

A. VEGETATION REMOVAL BETWEEN CCT. 15 AND APRIL 15 SHALL NOT PROCEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.
B. BETWEEN CCT. 15 AND APRIL 15, DISTURBED SURFACES NOT INVOLVED ION THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOILS PROTECTION.
C. RUN-OFF FROM THE SITE SHALL BE DETERMINED OR FILTERED BY BERMS, VEGETATED FILTER SRIPS AND/OR CATCH BASINS TO PROVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHT THE LIFE OF THE PROJECT.
D. EROSION CONTROL MEASURES SHALL BE AT THE END OF EACH DAY'S WORK.
E. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PROVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
F. THE DIRECTOR OF THE BUILDING INSPECTION DEPT. MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSIONS PROPLEMS ARE NOT BEING CONTROLLED ADEQUATELY.

CONSULTANTS:

GEOTECHNICAL ENGINEER
UPP GEOTECHNOLOGY, INC./
C–2 EARTH
750 CAMDEN AVE. SUITE A
CAMBELL, CA. 95008
408–866–5436

CIVIL ENGINEER
MFG ENGINEERS INC.
PO BOX 1914
APTOS CA. 95001
(831)763–1661

DEFERRED SUBMITTAL: TRUSS CALCS.

REV.	DATE
1	01–11–18
2	10–09–18
3	01–22–19
4	05–22–19

APN: 083–310–150
ADD.: 340 COGGINS RD.
LA HONDA, CA. 94020
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APPLICANT: RAY SCHMITT
CONTRACTOR # B514791
COASTAL HOME SOLUTIONS
7850 MESSICK ROAD
PRUNEDALE, CA. 93907
(831) 663–1114 FAX (831) 663–1118

SITE PLAN, VICINITY MAP, PROJECT DATA, GENERAL NOTES

Date: 05-25-17
Drawn RKS
Checked
Scale: As Shown
Job
Sheet
1.1

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NOTE:

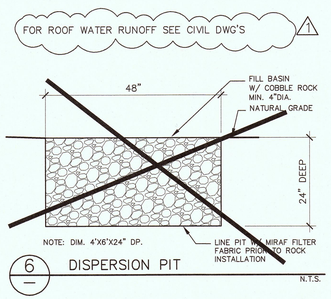
Perimeter Control: At least one of the following sediment control measures indicated to be used as a means to prevent soil/ sediment from leaving the site during the winter season.
FIBER ROLLS (or Wattles) PREFERRED

Fiber rolls are to be placed at the down slope perimeter of the disturbance limits to prevent or limit sediment from leaving the site. In urban areas or sites directly adjacent to streets, fiber rolls shall be placed at the back of a sidewalk or curb to limit sediment from entering the street. Fiber rolls or wattles are generally preferred over silt fences. Fiber rolls are best used in low-exposure/ low-sediment load areas. Fiber rolls at the toe of slopes greater that 5:1 (H: V) may require the use of 20-inch dia. Rolls or installations achieving the same protection (e.g., stacked smaller dia. Fiber rolls, etc.) Fiber rolls must be adequately trenched to be effective. SEE DTL. 1.2/ 2

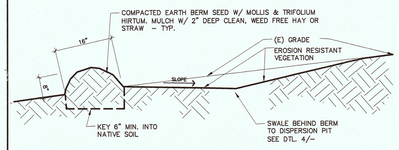
SILT FENCE
Silt fences shall be used for perimeter control. They shall be placed below areas where sheet flows discharge fro the site. They should also be used for perimeter control. They shall be placed below areas where sheet flows discharge from the site. They should also be used for perimeter control. They shall be placed below areas where sheet flows discharge from the site. They should also be used as interior controls below disturbed areas where runoff may occur in the form of sheet and rill erosion. Silt fences shall not be used in streams, channels, drain inlets, or any place where flow is concentrated. Silt fences shall not be used in locations where ponded water may cause flooding. Silt fences shall not be used on a slope, or across any contour line. If not installed at the same elevation throughout, silt fences will create erosion.
The maximum length of slope draining to any point along the silt fence should be 200 feet or less. The ends of the silt fence shall be turned uphill to prevent stormwater from flowing around the fence.

5/- FIBER ROLL DTL.
SEE NOTE 8/1.2 N.T.S.

2/- PERIMETER EROSION CONTROL NOTES



6/- DISPERSION PIT
N.T.S.

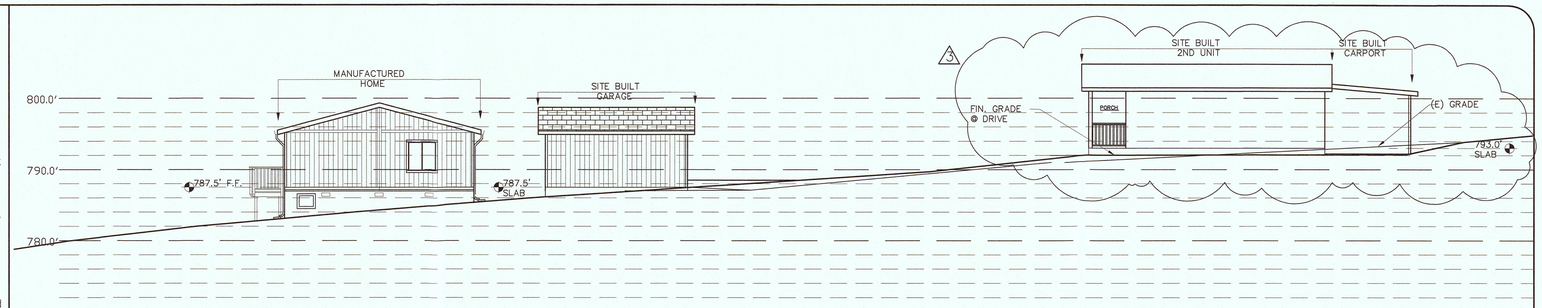


7/- TYP. EARTH BERM DTL.
N.T.S.

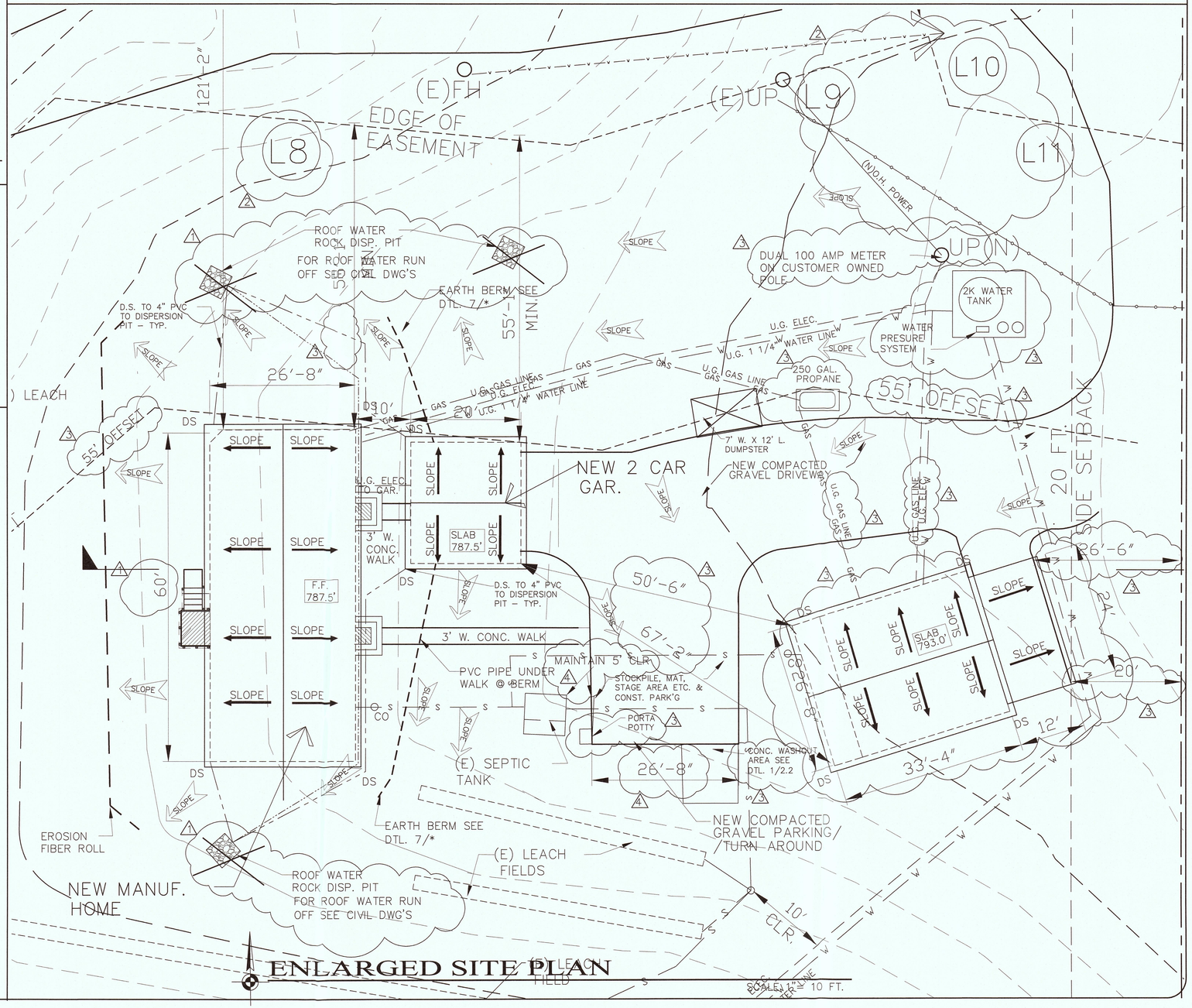
Seed and Straw Mulch

Seed and straw mulch is to be used for soil disturbed areas as a means for temporary protection until permanent stabilization is established. It may be used on slopes up to 3:1 H:V (33%). Seed and straw mulch shall consist of spreading seed (a minimum of 5 lbs/1000 sq. ft.) over disturbed areas and then placing a uniform layer of straw (2-3 bales/1000 sq. ft.) incorporating it into the soil with a studded roller or anchoring it with a tackifier stabilizing emulsion. Note: In areas that are not sensitive habitat, the seed shall be annual winter barley and the straw shall be derived from rice, barley or wheat. In areas that are sensitive habitat, the seed mix and straw shall be as recommended by the project biologist, be indicated on the plans, and approved by the Planning Department.

1 NOTE:
SEE SHTS. C-1, C-2 & C-3 FOR ADDITIONAL GRADING, DRAINAGE, WATER POLLUTION CONTROL NOTES & DTLS



1/- PARTIAL SITE SECTION
1"=10'-0"



ENLARGED SITE PLAN

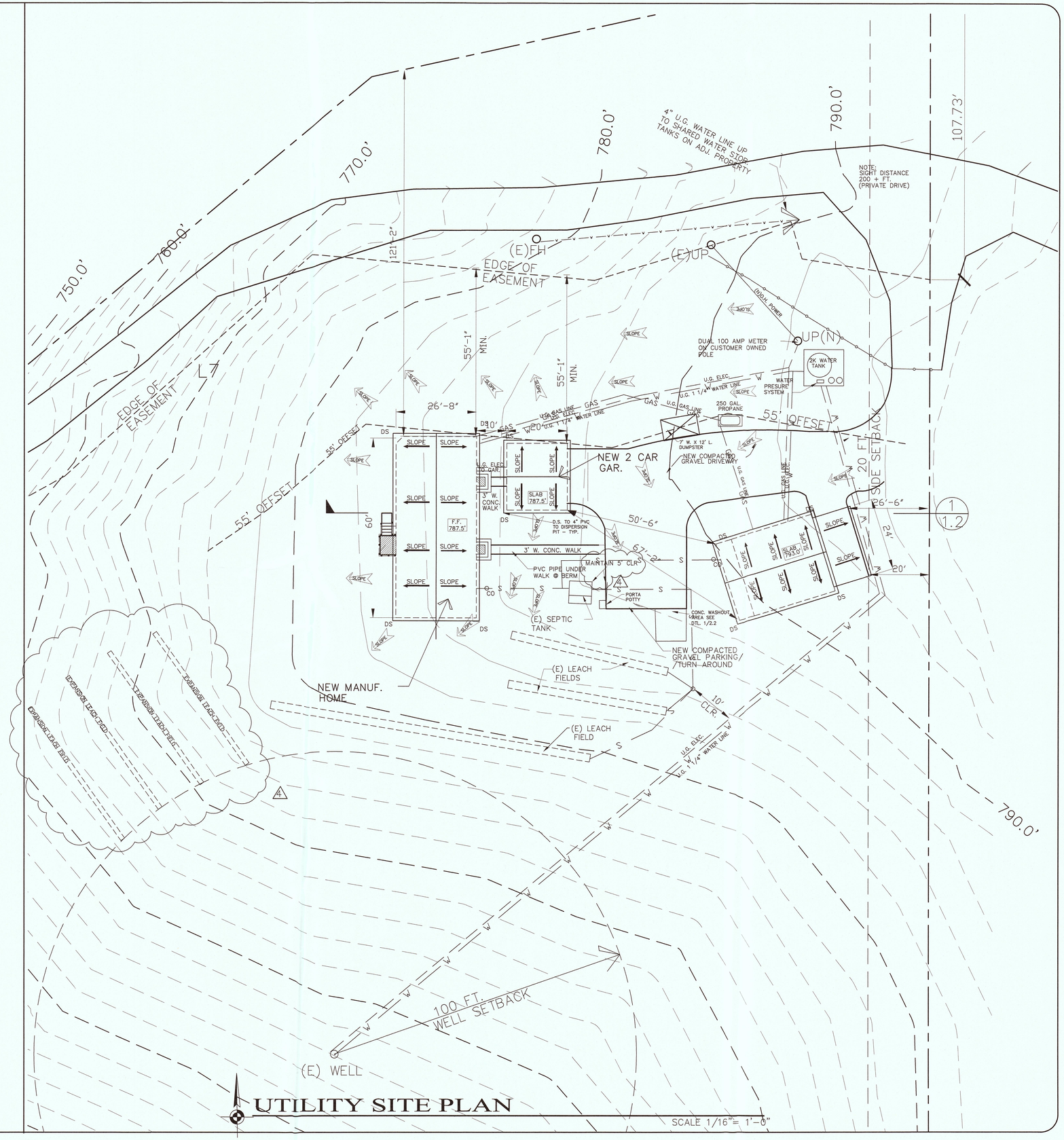
REV.	DATE
1	01-11-18
2	10-09-18
3	01-22-19
4	05-22-19

APN: 083-310-150
ADD.: 340 COGGINS RD.
LA HONDA, CA. 94020
OWNERS: COGGINS

APPLICANT: RAY SCHMITT
CONTRACTOR # B514791
COASTAL HOME SOLUTIONS
7850 MESSICK ROAD
PRUNEDALE, CA. 93907
(831) 663-1114 FAX (831) 663-1118

ENLARGED SITE PLAN GRADING & EROSION CONTROL NOTES & DTLS.

Date: 05-25-17
Drawn RKS
Checked
Scale: As Shown
Job
Sheet
1.2



UTILITY SITE PLAN

SCALE 1/16"= 1'-0"

REV.	DATE
1	01-11-18
2	10-09-18
3	01-22-19
4	05-22-19

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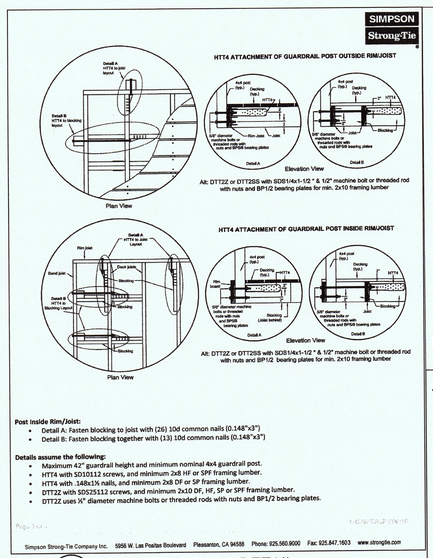
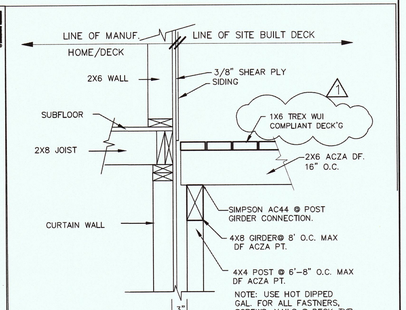
ENLARGED UTILITY PLAN

Date: 05-25-17
Drawn RKS
Checked
Scale: As Shown
Job
Sheet 3

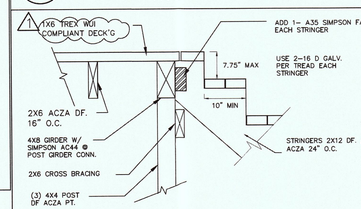
1.3



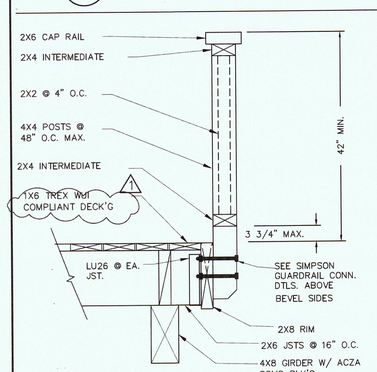
5 — DECK RAIL DETAIL
NTS



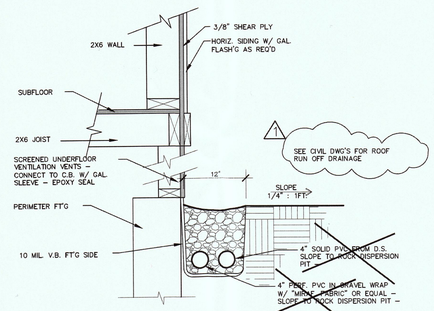
2 — TYP. DECK/HOUSE DETAIL
NTS



3 — TYP. STAIR/ DECK CONN.
NTS



6 — DECK RAIL DETAIL
NTS



4 — HOUSE PERIMETER DRAINAGE DTL
N.T.S.

STAIR REQUIREMENTS:

LANDING AT DOOR NOT REQUIRED ON INTERIOR FLIGHT IN DWELLING OR GARAGE WHEN DOOR (EXCEPT SCREEN DOORS) DOES NOT SWING OVER THE STAIRS. (1008.1.4 EXP. 3 1009.4 EXP. 3)

THERE SHALL BE A FLOOR OR A LANDING AT EACH STAIRWAY OR STAIR RUN LANDINGS SHALL HAVE A IN THE DIRECTION OF TRAVEL OF AT LEAST 36" PER (CBC 1008.5.1)

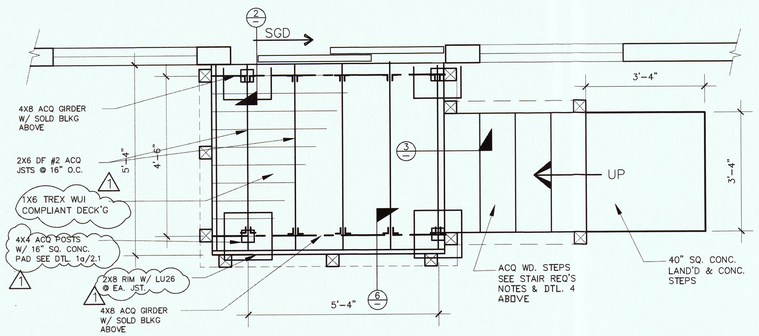
STEP DOWN FROM DOORWAY – TOP OF THRESHOLD 7.75" MAX. (CBC 1008.1.4 EXP 3)

MAX. 7.75" RISE AND MIN. 10" RUN. (1009.3 EXP 4)

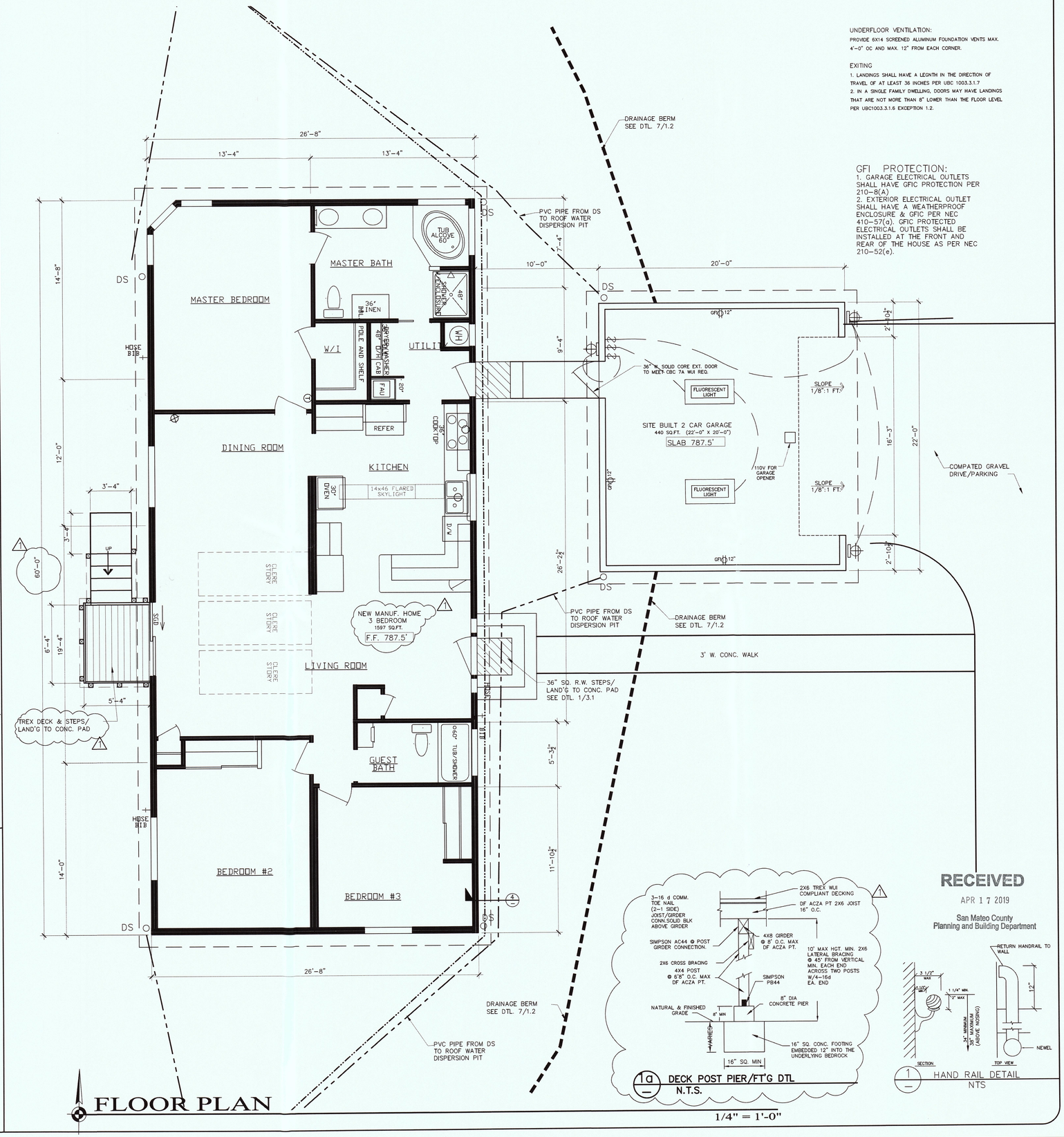
MIN. 36" CLR. WIDTH (SEC. 1010.5.1)

SOLID RISER OR MAX 4" SHERE – 6" OPENING AT TRIANGLE AT STAIR TREAD/LOWER RAIL (1009.5.3)

STAIR FRAME
–ALL FRAME TO BE PTDF (ACZA)
–ALL FASTENERS & HANGERS TO BE GALVANIZED
–POSTS & RAILS TO BE REDWD. (U.O.N.)
–2X6 RDWD. DECKING (U.O.N.)



8 — DECK/STAIR FRAMING PLAN
1/2" = 1'-0"



1a — DECK POST PIER/FT'G DTL
N.T.S.

1 — HAND RAIL DETAIL
NTS

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APR 1 7 2019
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Planning and Building Department

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1	01-11-18

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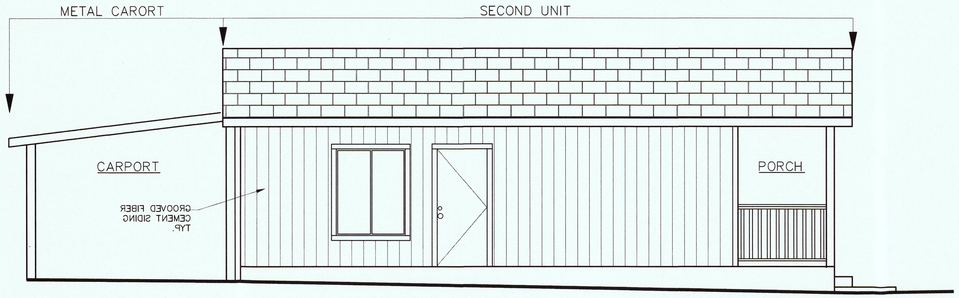
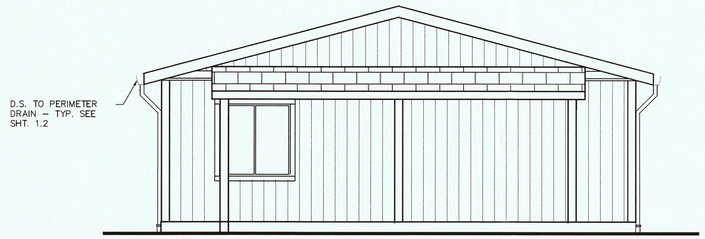
FLOOR PLAN DTLS. & NOTES

Date: 05-25-17
Drawn RKS
Checked
Scale: As Shown
Job
Sheet
2.1

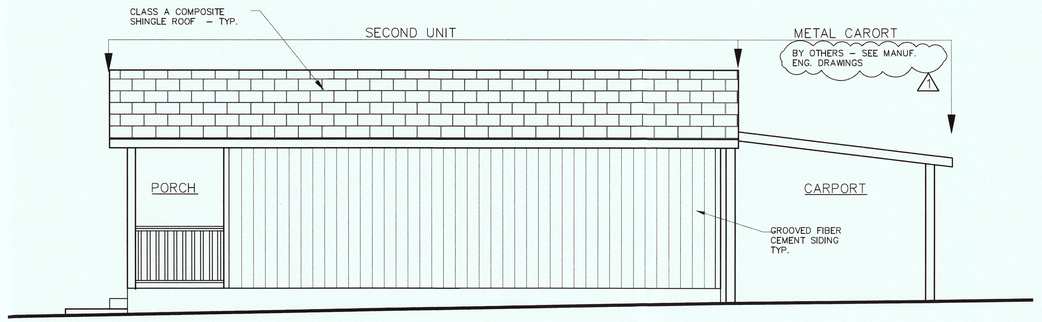


NORTH ELEVATION



WEST ELEVATION

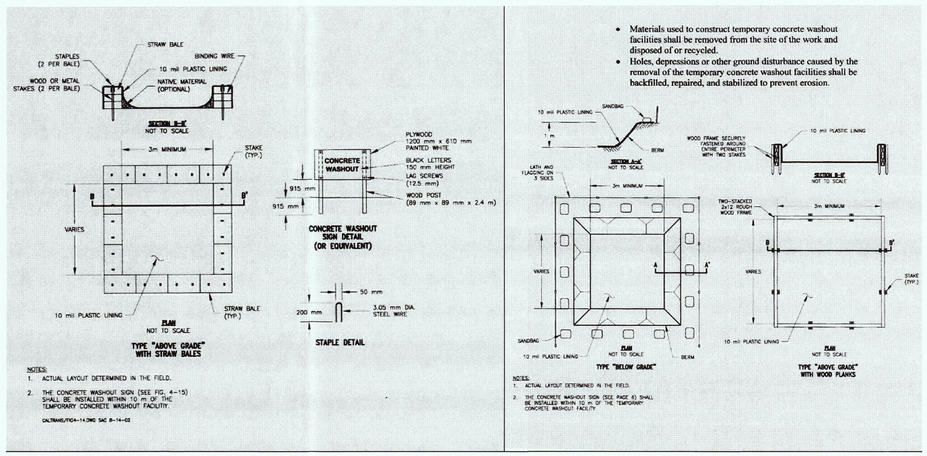
EAST ELEVATION



SOUTH ELEVATION

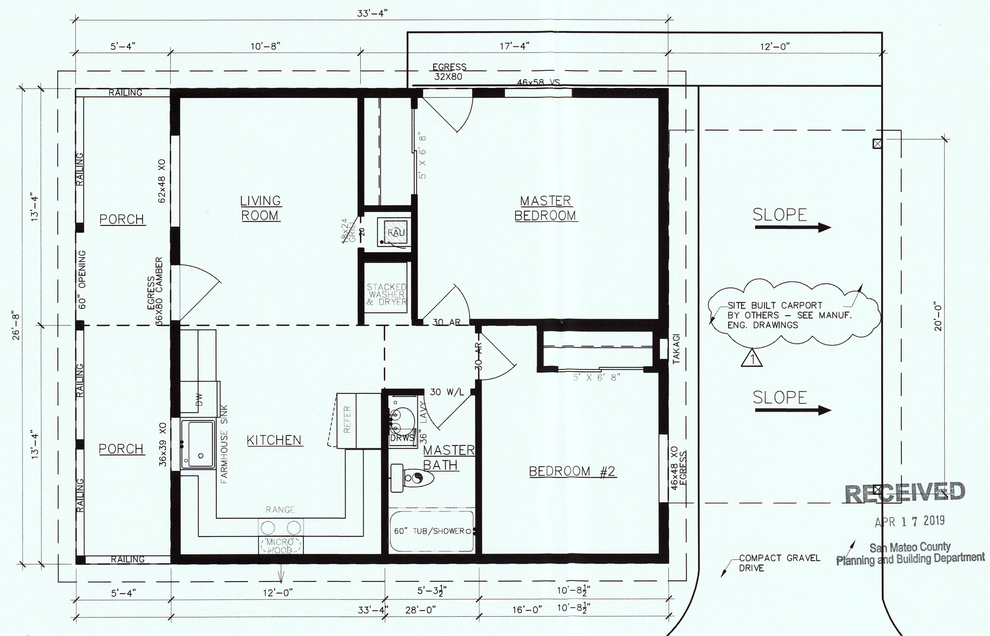
SECOND UNIT - EXTERIOR ELEVATIONS

1/4" = 1'-0"



1/– WASHOUT DETAILS

NTS



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APR 17 2019
San Mateo County Planning and Building Department

SECOND UNIT FLOOR PLAN

1/4" = 1'-0"

REV.	DATE
1	01-11-18

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SECOND UNIT FLOOR PLAN & ELEVATIONS

Date: 05-25-17
Drawn RKS
Checked
Scale: As Shown
Job
Sheet
2.2

WEST ELEVATION

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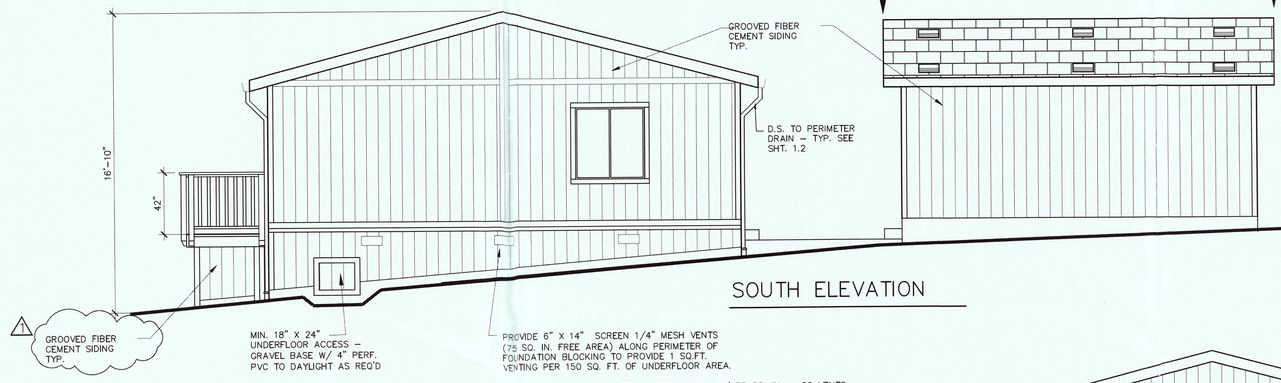
1 LAND'G DETAIL
NTS



SOUTH ELEVATION

PROVIDE 6" X 14" SCREEN 1/4" MESH VENTS (75 SQ. IN. FREE AREA) ALONG PERIMETER OF FOUNDATION BLOCKING TO PROVIDE 1 SQ.FT. VENTING PER 150 SQ. FT. OF UNDERFLOOR AREA.

(1757 / 150 = 11.7 SQ. FT. = 1686.7 SQ. IN. / 75 SQ. IN. = 22 VENTS

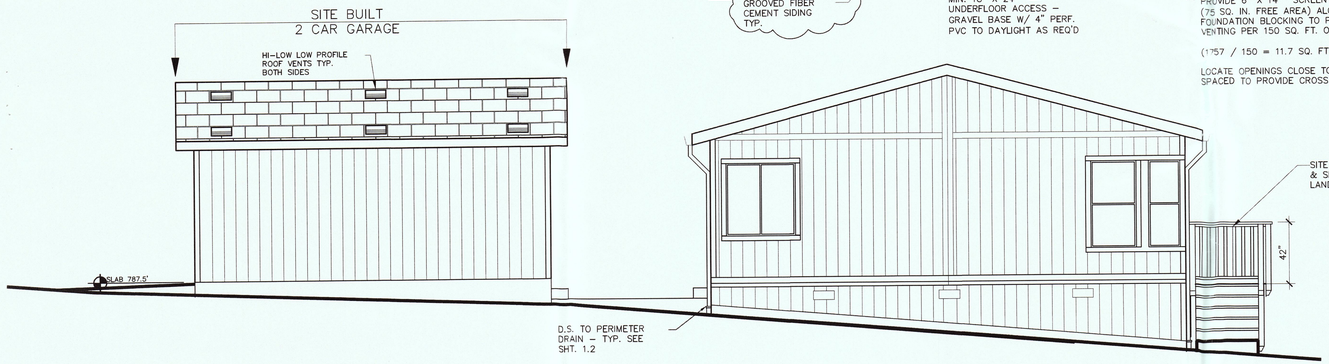
LOCATE OPENINGS CLOSE TO CORNERS AND EVENLY SPACED TO PROVIDE CROSS VENTILATION

UNDERFLOOR VENTILATION:

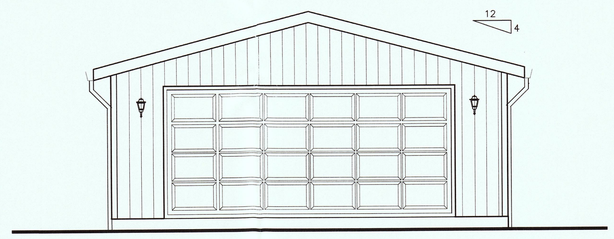
PROVIDE 6X14 SCREENED ALUMINUM FOUNDATION VENTS MAX. 4'–0" OC AND MAX. 12" FROM EACH CORNER.

EXITING

1. LANDINGS SHALL HAVE A LENGTH IN THE DIRECTION OF TRAVEL OF AT LEAST 36 INCHES.
2. IN A SINGLE FAMILY DWELLING, DOORS MAY HAVE LANDINGS THAT ARE NOT MORE THAN 7.75" LOWER THAN THE FLOOR LEVEL.

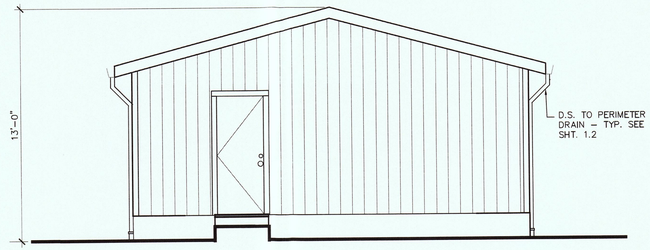


NORTH ELEVATION



WEST ELEVATION – GARAGE

EAST ELEVATION



EAST ELEVATION – GARAGE

RECEIVED
APR 17 2019
San Mateo County
Planning and Building Department

ELEVATIONS

1/4" = 1'–0"

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1	01–11–18

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ELEVATIONS

Date: 05-25-17
Drawn RKS
Checked
Scale: As Shown
Job
Sheet
3.1

TRUSS NOTES

TRUSS CALCS SUBMITAL IS A DEFERRED ITEM

TRUSSES SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH CALIFORNIA BUILDING CODE CHAPTER 23 DIVISION V AND SPECIFICALLY ANSVTPI 1–1995 (SEC. 2321.1 – SEC. 2321.4) AND SHALL INCLUDE PROFILES, LAYOUT, TRUSS PLANS AND CALCULATIONS FROM MANUF. TRUSSES MAY NOT BE INSTALLED UNTIL APPROVED JOB COPY OF SUBMITTALS IS ISSUED BY THE BUILDING OFFICIAL.

EACH TRUSS SHALL BE LEGIBLY MARKED ON THE FACE OF THE BOTTOM CHORD, WITHIN TWO (2) FEET OF THE CENTER OF THE SPAN, WITH THE FOLLOWING INFORMATION– 1. THE MANUFACTURER 2. THE DESIGN LOAD 3. THE SPACING OF THE TRUSSES

A "WET STAMPED" TRUSS DESIGN BY A CALIFORNIA LICENSED ENGINEER FOR TRUSSES SHALL BE PRESENTED TO THE INSPECTOR UPON FRAMING INSPECTION AND BE AVAILABLE AT ANY TIME DURING THE CONSTRUCTION THROUGH FINAL INSPECTION UPON REQUEST BY INSPECTOR.

IN CASE OF DAMAGE OR ALTERATION DURING DELIVERY OR INSTALLATION, ANY CHANGES OR REPAIRS MUST BE IN ACCORDANCE WITH REPAIR/ ALTERATION DESIGN BY THE TRUSS ENGINEER OF RECORD AND A "WET STAMPED" COPY OF THIS DESIGN AND INSTRUCTIONS SHALL BE PRESENTED TO INSPECTOR AND BE AVAILABLE AT ANY TIME DURING THE CONSTRUCTION THROUGH FINAL INSPECTION UPON REQUEST BY INSPECTOR.

STAIR REQUIREMENTS:

LANDING AT DOOR NOT REQUIRED ON INTERIOR FLIGHT IN DWELLING OR GARAGE WHEN DOOR (EXCEPT SCREEN DOORS) DOES NOT SWING OVER THE STAIRS. (1008.1.4 EXP. 3 1009.4 EXP. 3)

THERE SHALL BE A FLOOR OR A LANDING AT EACH STAIRWAY OR STAIR RUN LANDINGS SHALL HAVE A IN THE DIRECTION OF TRAVEL OF AT LEAST 36" PER (CBC 1008.5.1)

STEP DOWN FROM DOORWAY – TOP OF THRESHOLD 7.75" MAX. (CBC 1008.1.4 EXP 3)

MAX. 7.75" RISE AND MIN. 10" RUN. (1009.3 EXP 4)

MIN. 36" CLR. WIDTH (SEC. 1010.5.1)

SOLID RISER OR MAX 4" SHERE – 6" OPENING AT TRIANGLE AT STAIR TREAD/LOWER RAIL (1009.5.3)

STAIR FRAME
–ALL FRAME TO BE PTDF (ACZA)
–ALL FASTENERS & HANGERS TO BE GALVANIZED
–POSTS & RAILS TO BE REDWD. (U.O.N.) – MATCH EXIST.
–2X6 RDWD. DECKING (U.O.N.)

GUARDRAILS

REQUIRED WHEN MORE THAN 30" ABOVE GRADE OR FLOOR.

ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLASSED SIDES OF LANDINGS AND RAMPS, BALCONIES OR PORCHES WHICH ARE MORE THAN 30 INCHES ABOVE GRADE, OR THE FLOOR BELOW, AND ROOFS USED FOR OTHER THAN SERVICE OF BUILDINGS SHALL BE PROTECTED BY A GUARDRAIL.

GUARDRAILS SHALL NOT BE LESS THAN 42" IN HEIGHT, EXCEPT ON STAIRWAYS WHERE THEY MAY BE 34"–38". OPEN GUARDRAILS AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH. (SEC 509.3 AND EXCEPTION #2)

HANDRAILS (1009.10)

NOT REQUIRED ON A CONTINOUS RUN LESS THAN FOUR RISERS. (1009.10 EXP. 2)

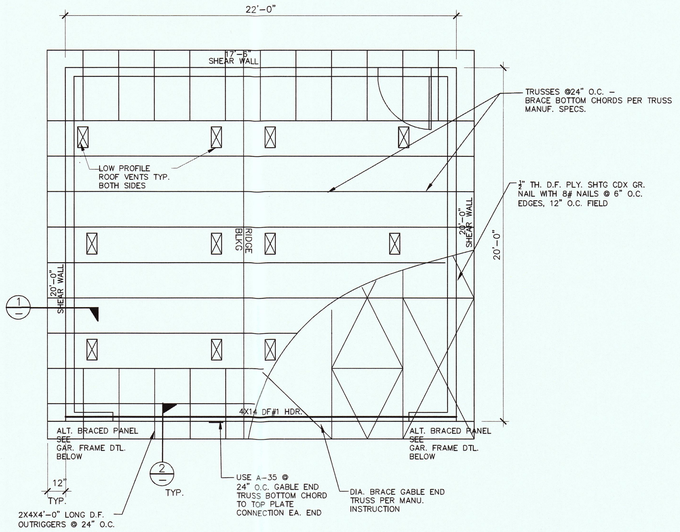
STAIRWAYS SHALL HAVE AT LEAST ON HANDRAIL, AND HANDRAILS SHALL BE INSTALLED ON OPEN SIDES OF STAIRWAYS. THE TOP OF HANDRAILS SHALL BE PLACED NOT LESS THAN 34 INCHES OR MORE THAN 38 INCHES ABOVE THE NOSING OF TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIR. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1–1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1–1/4 INCHES OR MORE THAN 2 INCHES IN CROSS–SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.

Table 2308.12.4: Wall bracing in seismic design categories D and E (minimum length of wall bracing per each 25 linear feet of braced wall line[a])

Condition	Sheathing Type[b]	S_{DS} < 0.50	0.50 ≤ S_{DS} < 0.75	0.75 ≤ S_{DS} < 1.00	S_{DS} ≥ 1.00
One story	G-P[c]	10 feet 8 inches	14 feet 8 inches	18 feet 8 inches	25 feet 0 inches
	S-W	5 feet 4 inches	8 feet 0 inches	9 feet 4 inches	12 feet 0 inches

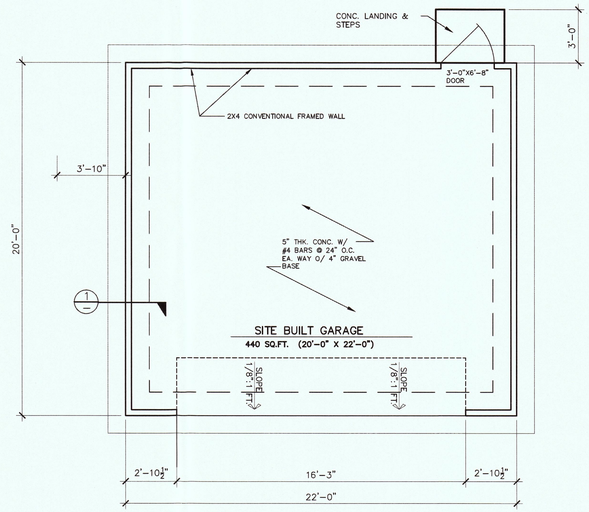
For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.
a. Minimum length of panel bracing of one face of the wall for S-W sheathing or both faces of the wall for G-P sheathing. h/w ratio shall not exceed 2:1. For S-W panel bracing of the same material on two faces of the wall, the minimum length is permitted to be one-half the tabulated value, but the h/w ratio shall not exceed 2:1 and design for uplift is required.
b. G-P = gypsum board, fiberboard, particleboard, lath and plaster, or gypsum sheathing boards. S-W = wood structural panels and diagonal wood sheathing.
c. Nailing as specified below shall occur at all panel edges at studs, at top and bottom plates, and, where occurring, at blocking:
- For 1/2-inch gypsum board, 5d (0.113-inch-diameter) cooler nails at 7 inches on-center;
- For 5/8-inch gypsum board, No. 11 gage (0.120-inch-diameter) at 7 inches on-center;
- For gypsum sheathing board, 1-3/4 inches long by 7/16 inch head, diamond point galvanized nails at 4 inches on-center;
- For gypsum lath, No. 13 gage (0.092 inch) by 1-1/8 inches long, 19/64-inch head, plasterboard at 5 inches on-center;
- For Portland cement plaster, No. 11 gage (0.120 inch) by 1-1/2 inches long, 7/16-inch head at 6 inches on-center;
- For fiberboard and particleboard, No. 11 gage (0.120 inch) by 1-1/2 inches long, 7/16-inch head, galvanized nails at 3 inches on-center.



GARAGE ROOF FRAMING PLAN 1/4"= 1'–0"

2x SOLID BLOCKING BETWEEN TRUSSES "SEE TRUSS ENGINEERING FOR COMPLETE BRACING & CONNECTION DETAILS

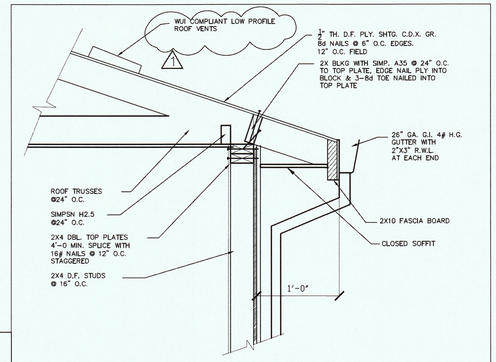
SEE SHT. 2.1 FOR GARAGE ELECTRICAL

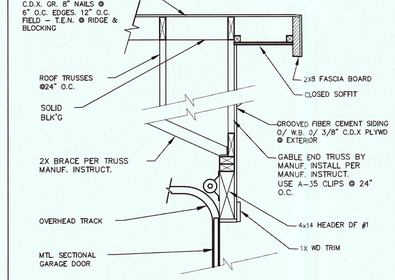


GARAGE FOUNDATION PLAN 1/4"= 1'–0"

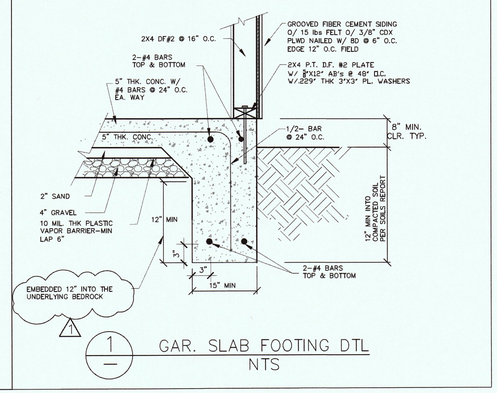
GARAGE DOOR FRAME DETAIL 1/4" = 1'–0"

GABLE END (NON BEARING EXT. WALL)





2 GAR. DR. HEADER
NTS



1 GAR. SLAB FOOTING DTL
NTS

NOTE: SEE SHT.1 FOR ADDITIONAL CODE COMPLIANT NOTES

TYPE OF CONSTRUCTION V–B

SITE INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ROOFING BY OWENS CORNING UL 790 CLASS A ASTM E 108, CLASS A

SEE SHT. 2 FOR GARAGE ELEC.

NOTE:

BOLTS IN WOOD SHALL CONFORM TO ASTM A–307. BOLT HOLES SHALL BE DRILLED 1/16" OVERSIZE OF BOLT. USE STANDARD WASHER ON ALL BEARING OF HEADS AND NUTS AGAINST WOOD UNLESS OTHERWISE NOTED. BOLTS, NUTS AND WASHERS SHALL BE HOT–DIPPED GALV. OR STAINLESS STEEL WHERE EXPOSED TO WEATHER. BOLTS WITH UPSET THREADS ARE NOT ALLOWED.

HOLD DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION AND SHALL BE RE–TIGHTENED AT COMPLETION OF PROJECT, OR IMMEDIATELY BEFORE FINISHING OF CONSTRUCTION WHICH WILL MAKE THEM INACCESSIBLE.

ALL FASTNERS EMBEDDED IN CONCRETE SHALL BE ATTACHED TO, OR HOCKED AROUND, REINFORCING STEEL OR OTHERWISE TERMINATED TO EFFECTIVELY TRANSFER FORCES TO THE REINFORCING STEEL. (2007 CBC SECTIONS 1633.2.4.2 #6.)

AT THE TIME CONCRETE IS PLACED, REINFORCEMENT SHALL BE FREE FROM MUD, OIL, OR OTHER NONMETALLIC COATINGS THAT DECREASE BOND. (2007 CBC SECTION 1907.4.1)

FASTENERS IN PRESERVATIVE–TREATED WOOD (ANCHOR BOLTS, NAILS, SCREWS,–ETC.) – EXCLUDING INTERIOR WALLS SHALL BE APPROVED SILICON BRONZE OR COPPER, STAINLESS STEEL OR HOT–DIPPED ZINC–COATED STEEL (2007 CBC SECTION 2304.9.5)

ANCHOR BOLTS SHALL BE MIN. 1/2" DIA. IN SDC D (5/8" DIA. IN SDC E) AND SHALL BE EMBEDDED AT LEAST 7" INTO THE FOUNDATION. ANCHOR BOLT SHALL BE SPACED NOT MORE THAN 6 FT. APART. THE SHALL BE A MIN. OF TWO BOLTS PER SILL PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 4" FROM EACH END OF THE SILL PIECE. (SEC 2308.6)

PLATE WASHERS FOR ANCHOR BOLTS, MIN. 3" X 3" BY 0.229" THK. (SEC. 2308.12.8)

RECEIVED
APR 17 2019
San Mateo County
Planning and Building Department

REV.	DATE
1	01–11–18

APN: 083–310–150
ADD.: 340 COGGINS RD.
LA HONDA, CA. 94020
OWNERS: COGGINS

APPLICANT: RAY SCHMITT
CONTRACTOR # B514791
COASTAL HOME SOLUTIONS
7850 MESSICK ROAD
PRUNEDALE, CA. 93907
(831) 663–1114 FAX (831) 663–1118

GARAGE STRUCT. PLANS, DTLS. & NOTES

Date: 05-25-17

Drawn RKS

Checked

Scale: As Shown

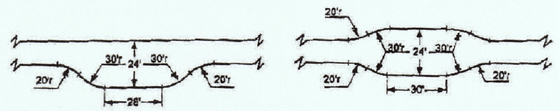
Job

Sheet

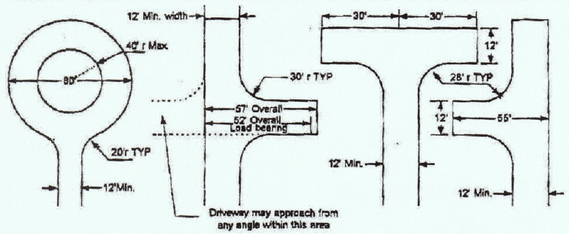
4.1

EXAMPLE A Driveway Turnouts

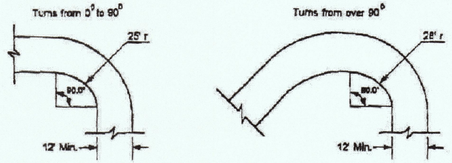
Form # 1 (MCFPOA) Revised 1/30/97



EXAMPLE B Driveway / Road Turnaround



EXAMPLE C Driveway Turning Radii



May use minimum 25' inside radius

Must use minimum 28' inside radius

The following paragraphs must be printed on the project plans under "FIRE DEPARTMENT NOTES".

☐ Fire sprinklers are required. Place the following note on the project plans.

1. **Fire Sprinklers Required** - The residence(s) shall be protected with automatic fire sprinkler system(s). ***Fire sprinklers are required in attached garages.*** Installation, approval, and maintenance shall be in compliance with applicable National Fire Protection Association Standard 13D and local amendments, the edition(s) of which shall be determined by the enforcing jurisdiction. Plans for fire sprinkler system(s) must be submitted and approved prior to installation. Rough-in inspections must be completed prior to requesting a framing inspection from the Building Inspection Dept.

☐ When fire sprinklers are required, place the following note on the project plans:

2. **Fire Alarm Flow Switch** shall be wired to the kitchen refrigerator circuit. Any deviations require approval from the fire department.

☐ Address numbers shall be posted pursuant to the note that follows. Place the following note on project plans.

3. **Address Numbers to be Posted** - Before construction begins, temporary or permanent address numbers shall be posted. Permanent address numbers shall be posted prior to request of a final inspection. All address numbers (permanent or temporary) shall be posted on the property so as to be clearly visible from the road. Where visibility cannot be provided, a post or sign bearing the address numbers shall be set adjacent to the driveway or access road to the property. Address numbers posted shall be "Arabic" (1, 2, 3, etc.), not "Roman" (I, VI, X, etc.) or written out in words (Thirteen, Seventy-six, etc.). Address numbers posted shall be a minimum number height of 3 inches, 3/8 inch wide stroke, and contrasting with the background colors of the sign. **NOTE: If numbers are not posted, Building/Fire Inspectors will not grant a final inspection.**

☐ Separate addresses shall be obtained pursuant to the note that follows for caretaker's units, senior citizen units and "granny houses". Also, place the following note on the project plans.

4. **Separate Address Required** - Caretaker's Units, Senior Citizen Units and "Granny Houses" shall be issued addresses separate from the main residence. Contact the Monterey County Public Works Dept. at 755-4936.

☐ Show the type and class of roof on the project plans.

5. **Roofing - Class "A" or "B" Required** - Roof construction shall be a Class A or Class B buildup, as defined by Uniform Building Code Standard 15-2. This requirement shall apply to all new construction and when 50 percent or more of an existing roof is replaced within a one-year period.

☐ Vegetation shall be cleared pursuant to the note that follows. Place the note on the project plans:

6. **Clear Vegetation** - All flammable vegetation or other combustible growth shall at all times maintain clear distance of not less than 30 feet on each side from structures or buildings. This shall not apply to single specimens of trees, ornamental shrubbery or similar plants used as ground covers, provided that they do not form a means of rapidly transmitting fire from the native growth to any structure. Additional fire protection or firebreak may be required when, because of extra hazardous conditions, a firebreak of only 30 feet around such structure is not sufficient to provide reasonable fire safety. Environmentally sensitive area may require alternative fire protection, to be determined by the Fire Chief and Director of Planning and Building. This project requires _____ feet clearance.

Monterey County Fire Prevention Officers Association Form # 2

revised February 1, 1997

FIRE DEPARTMENT NOTES

☐ Show the width, length, slope percentage, and type of surface of the access roadway on the project plans.

7. **Access Driveways** - General - Access driveways shall be all-weather driving surface capable of supporting fire apparatus (22 tons) not less than 12 feet of unobstructed width, a minimum of 13'6" or 15'0" vertical clearance, and a maximum 15 percent grade. On driveways and access roads having a slope of 8 percent or more the finish surface shall be A/C pavement or concrete. EXCEPTION: When buildings are protected by an approved automatic fire sprinkler system, the provisions of this section may be modified, subject to the approval of the Local Jurisdiction.

☐ If the access road is over 250 feet long and less than 20 feet wide, place the following note on the project plans: (for diagram, see attached Example "A")

8. **Driveways - Turn-Out Required** - Driveways shall not be less than 12 feet wide unobstructed. All driveways exceeding 250 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400 foot intervals.

☐ If the access road has a dead-end and is more than 150 feet long, add a turn around to the access road drawing on the project plans (see attached diagram labeled Example B). Also, add the following note to the project plans:

9. **Access Roadways - Turn Around Required** - All dead-end access roads in excess of 150 feet in length shall be provided with approved provision for the turning around of fire apparatus.

☐ If the access road has turns, indicate the turning radius of the turns (see attached diagram labeled Example C).

☐ Show gate(s) on the plans. Also, place the following note on the project plans.

10. **Privacy Gates** - Electric gates shall be provided with a keyed switch meeting fire department specifications. Manual gates shall be provided with fire department padlocks meeting fire department specifications. Gate entrances shall be at least the width of the traffic lane, but in no case less than 12 feet wide. Unobstructed vertical clearance shall be not less than 15 feet.

☐ Show bridge(s) on plans.

11. **Bridges** - All new and reconstructed bridges shall be at least the width of the existing roadbed and berms but in no case less than 12 feet wide. Bridge width on all roads exceeding tertiary standards shall at be less than the width of two lanes with berms. All bridges shall be designed for HS 20-44 loading (standard specification for highway bridges) and have guard rails.

☐ Show defensible space on plans.

12. **Setback for Structure Defensible Space (30 Foot)** - All parcels 1 acre and larger shall provide a minimum 30-foot setback for buildings and accessory buildings from all property lines and/or the center of the road. For parcels less than 1 acre, or when a 30 foot minimum setback cannot be reached, alternate fuel modification standards may be imposed by the local fire jurisdiction to provide the same practical effect.

Monterey County Fire Prevention Officers Association Form # 2

revised February 1, 1997

FIRE PROTECTION NOTES:

1. THESE PLANS SHALL COMPLY WITH CALIFORNIA BUILDING AND FIRE CODES (CURRENT EDITION) AND DISTRICT AMENDMENTS.
2. THE BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH THE LATEST EDITION OF NFPA 13D CURRENTLY ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.
3. OCCUPANCY CLASSIFICATION: R-3
   BUILDING CONSTRUCTION TYPE: TYPE V-B
   FIRE RATING: SPRINKLERED
4. A 30-FOOT CLEARANCE SHALL BE MAINTAINED TO FLAMMABLE VEGETATION AROUND ALL STRUCTURES, SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURES, ARE EXEMPT.
   AND PERMITS MUST BE ON-SITE DURING INSPECTIONS.
5. THE ROOF COVERINGS SHALL NOT BE LESS THAN CLASS 'A' RATED ROOF
6. 4-INCH HIGH ADDRESS NUMBERS OF CONTRASTING COLOR WITH BACKGROUND SHALL BE LOCATED WHERE INDICATED ON THE SITE PLAN.
7. THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE ON-SITE DURING INSPECTIONS.

REV.	DATE
1	01-11-18

APN: 083-310-150
ADD.: 340 COGGINS RD.
LA HONDA, CA. 94020
OWNERS: COGGINS

APPLICANT: RAY SCHMITT
CONTRACTOR # B514791
COASTAL HOME SOLUTIONS
7850 MESSICK ROAD
PRUNEDALE, CA. 93907
(831) 663-1114 FAX (831) 663-1118

FIRE PROTECTION NOTES & DTLS

Date: 05-25-17
Drawn RKS
Checked
Scale: As Shown
Job
Sheet
F-1

EXCERPTS FROM 2000 Urban – Wildland Interface Code

SECTION 504

CLASS 1 IGNITION-RESISTANT CONSTRUCTION

504.1 General. Class 1 ignition-resistant construction shall be in accordance with Section 504.

504.2 Roof covering. Roofs shall have a ClassA roof covering or a Class A roof assembly. For roof coverings where the profile allows a space between the roof covering and roof decking, the space at the eave ends shall be firestopped to preclude entry of flames or embers.

504.3 Protection of eaves. Eaves and soffits shall be protected on the exposed underside by materials approved for a minimum of 1-hour fire-resistance-rated construction. Fascias are required and must be protected on the backside by materials approved for a minimum of 1-hour fire-resistance-rated construction or 2-inch (51 mm) nominal dimension lumber.

504.4 Gutters and downspouts. Gutters and downspouts shall be constructed of noncombustible material.

504.5 Exterior walls. Exterior walls of buildings or structures shall be constructed with materials approved for a minimum of 1-hour fire-resistance-rated construction on the exterior side or constructed with approved noncombustible materials.

Exception: Heavy timber or log wall construction. Such material shall extend from the top of the foundation to the underside of the roof sheathing.

504.6 Unenclosed under-floor protection. Buildings or structures shall have all under-

floor areas enclosed to the ground exterior walls in accordance with S 504.5.

Exception: Complete enclosure m omitted where the underside exposed floors and all exposed str columns, beams and supporting w protected as required for exterior fire-resistance-rated constructio heavy timber construction.

504.7 Appendages and proje Unenclosed accessory structures attac buildings with habitable spaces an jections, such as decks, shall be a mi of 1-hour fire-resistance-rated constr heavy timber construction or construc approved noncombustible materials. the attached structure is locate constructed so that the structure portion thereof projects over a desc slope surface greater than 10 perce area below the structure shall have all floor areas enclosed to within 6 inche mm) of the ground with exterio construction in accordance with 5 504.5.

504.8 Exterior glazing. Exterior wi window walls and glazed doors, wi within exterior doors, and skylights s tempered glass, multi-layered glazed glass block or have a fire protection ra not less than 20 minutes.

504.9 Exterior doors. Exterior door be approved non-combustible constr solid core wood not less than 1-3/4 thick (45mm), or have a fire pro rating of not less than 20 minutes. Wi within doors and glazed doors shall accordance with Section 504.8.

Exception: Vehicle access doors.

EXCERPTS FROM 2000 Urban – Wildland Interface Code

504.10 Vents. Attic ventilation openings, foundation or under-floor vents, or other ventilation openings in vertical exterior walls and vents through roofs shall not exceed 144 square inches (0.0929m2) each. Such vents shall be covered with noncombustible, corrosion-resistant mesh with openings not to exceed 1/4 inch (6.4 mm). Attic ventilation openings shall not be located in soffits, in eave overhangs, between rafters at eaves, or in other overhang areas. Gable end and dormer vents shall be located at least 10 feet (3048 mm) from property lines. Under-floor ventilation openings shall be located as close to grade as practical.

504.11 Detached accessory structures. Detached accessory structures located less than 50 feet (15 240 mm) from a building containing habitable space shall have exterior walls constructed with materials approved for a minimum of 1-hour fire-resistance-rated construction, heavy timber, log wall construction or constructed with approved noncombustible materials on the exterior side. When the detached structure is located and constructed so that the structure or any portion thereof projects over a descending slope surface greater than 10 percent, the area below the structure shall have all under-floor areas enclosed to within 6 inches (152 mm) of the ground with exterior wall construction in accordance with Section 504.5 or under-floor protection in accordance with Section 504.6.

Exception: The enclosure may be omitted where the underside of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior 1-hour fire-resistance-rated construction or heavy timber construction.

See Section 504.2 for roof requirements.

SECTION 505

CLASS 2 IGNITION-RESISTANT CONSTRUCTION

505.1 General. Class 2 ignition-resistant construction shall be in accordance with Section 505.

505.2 Roof covering. Roofs shall have at least a Class B roof covering. Class B roof assembly or an approved noncombustible roof covering. For roof coverings where the profile allows a space between the roof covering and roof decking, the space at the eave ends shall be firestopped to preclude entry of flames or embers.

505.3 Protection of eaves. Combustible eaves, fascias and soffits shall be enclosed with solid materials with a minimum thickness of 3/4 inch (19 mm). No exposed rafter tails shall be permitted unless constructed of heavy timber materials.

505.4 Gutters and downspouts. Gutters and downspouts shall be constructed of noncombustible material.

505.5 Exterior walls. Exterior walls of buildings or structures shall be constructed with materials approved for a minimum of 1-hour fire-resistance-rated construction on the exterior side or constructed with approved noncombustible materials.

Exception: Heavy timber or log wall construction. Such material shall extend

EXCERPTS FROM 2000 Urban – Wildland Interface Code

from the top of the foundation to the underside of the roof sheathing.

505.6 Unenclosed under-floor protection. Buildings or structures shall have all under-floor areas enclosed to the ground, with exterior walls in accordance with Section 505.5.

Exception: Complete enclosure may be omitted where the under-side of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior 1-hour fire-resistance-rated construction or heavy timber construction.

505.7 Appendages and projections. Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be a minimum of 1-hour fire-resistance-rated construction, heavy timber construction or constructed with approved noncombustible materials. When the attached structure is located and constructed so that the structure or any portion thereof projects over a descending slope surface greater than 10 percent, the area below the structure shall have all under-floor areas enclosed to within 6 inches (152 mm) of the ground with exterior wall construction in accordance with Section 505.5.

505.8 Exterior glazing. Exterior windows, window walls and glazed doors, windows within exterior doors, and skylights shall be tempered glass, multi-layered glazed panels, glass block or have a fire-protection rating of not less than 20 minutes.

505.9 Exterior doors. Exterior doors shall be approved non-combustible construction, solid core wood not less than 1 3/4-inches

thick (45 mm), or have a fire protection rating of not less than 20 minutes. Windows within doors and glazed doors shall be in accordance with Section 505.8.

Exception: Vehicle access doors.

505.10 Vents. Attic ventilation openings, foundation or under-floor vents or other ventilation openings in vertical exterior walls and vents through roofs shall not exceed 144 square inches (0.0929m2) each. Such vents shall be covered with noncombustible corrosion-resistant mesh with openings not to exceed 1/4 inch (6.4 mm). Attic ventilation openings shall not be located in soffits, in eave overhangs, between rafters at eaves, or in other overhang areas. Gable end and dormer vents shall be located at least 10 feet (3048 mm) from property lines. Under-floor ventilation openings shall be located as close to grade as practical.

505.11 Detached accessory structures. Detached accessory structures located less than 50 feet (15 240 mm) from a building containing habitable space shall have exterior walls constructed with materials approved for a minimum of 1-hour fire-resistance-rated construction, heavy timber, log wall construction, or constructed with approved noncombustible material on the exterior side. When the detached structure is located and constructed so that the structure or any portion thereof projects over a descending slope surface greater than 10 percent, the area below the structure shall have all under-floor areas enclosed to within 6 inches (152 mm) of the ground with exterior wall construction in accordance with Section 505.5 or under-floor protection in accordance with Section 505.6.

EXCERPTS FROM 2000 Urban – Wildland Interface Code

Exception: The enclosure may be omitted where the underside of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior 1-hour fire-resistance-rated construction or heavy timber construction.

See Section 505.2 for roof requirements.

SECTION 506

CLASS 3 IGNITION-RESISTANT CONSTRUCTION

506.1 General. Class 3 ignition-resistant construction shall be in accordance with Section 506.

506.2 Roof covering. Roofs shall have at least a Class C roof covering. Class C roof assembly or an approved noncombustible roof covering. For roof coverings where the profile allows a space between the roof covering and roof decking, the space at the eave ends shall be fire-stopped to preclude entry of flames or embers.

Exception: Minimum Roof Coverings for Santa Cruz County is Class B.

506.3 Unenclosed under-floor protection. Buildings or structures shall have all under-floor areas enclosed to the ground with exterior walls.

Exception: Complete enclosure may be omitted where the underside of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior 1-hour fire-resistance-rated construction or heavy timber construction.

506.4 Vents. Attic ventilation openings, soffit vents, foundation or under-floor vents or other ventilation openings in vertical exterior walls and vents through roofs shall not exceed 144 square inches (0.0929 m2) each. Such vents shall be covered with noncombustible corrosion-resistant mesh with openings not to exceed 1/4 inch (6.4 mm).

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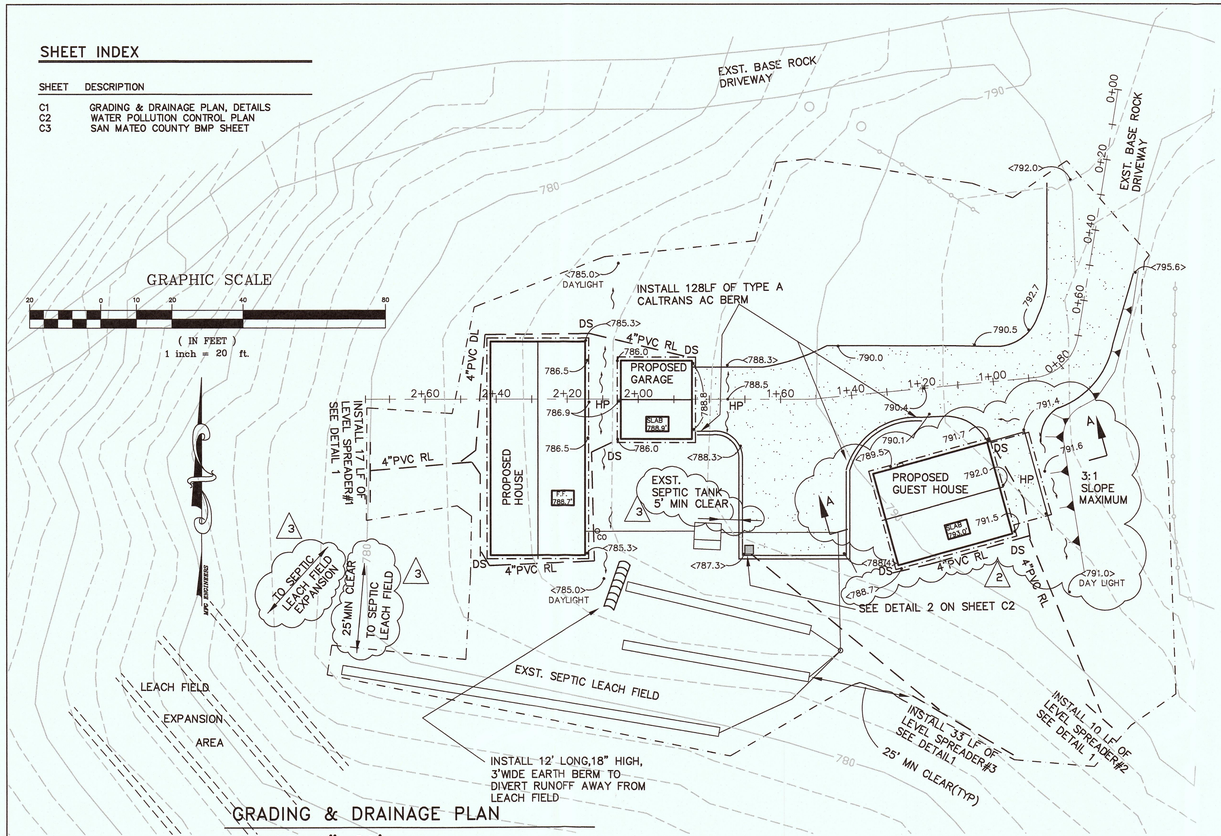
Planning and Building Department

WILDLAND INTERFACE CODE NOTES

SHEET INDEX

SHEET	DESCRIPTION
C1	GRADING & DRAINAGE PLAN, DETAILS
C2	WATER POLLUTION CONTROL PLAN
C3	SAN MATEO COUNTY BMP SHEET



GRADING & DRAINAGE PLAN
SCALE: 1"=20'

LEGEND

DOWN SPOUT LOCATION	DS
RAIN WATER LEADER FROM DOWN SPOUT	RL
HIGH POINT	HP
EXISTING FINISH FLOOR	EXST FF
NEW FINISH GRADE	100.7 ~ 100.2
EXIST. GRADE (CONFORM TO EXISTING GRADE)	<100.7>
NEW ASPHALT DRIVEWAY 2" OF AC OVER 6" OF AB	
4" DIA PVC STORM DRAIN	4"PVC
TOP OF CUT	
TOE OF CUT	
AREA OF DISTURBANCE (26,610 SQUARE FEET)	
EXST ELEVATION CONTOUR (2' INTERVAL)	
EXST ELEVATION CONTOUR (10' INTERVAL)	35
GRADE SWALE TO DRAIN	
INSTALL CHRISTY V64 DRAIN BOX AND GRATE	

GENERAL NOTES

1. THIS GRADING AND DRAINAGE PLAN IS BASED ON A TOPOGRPHIC MAP PROVIDED BY THE OWNER AND A FIELD REVIEW BY ME (MICHAEL F GOODHUE) ON OCTOBER 11, 2017.
2. THE INTENT OF THIS PLAN IS TO PROVIDE FOR GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH THE REQUIREMENTS OF SAN MATEO COUNTY.
3. TOP SOIL SHALL BE STRIPPED AND STOCK PILED BEFORE GRADING.
4. PRIOR TO EXCAVATION, CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES. CALL 811 TO HAVE UTILITIES LOCATED AND MARKED.
5. STORM DRAIN PIPE SHALL BE POLY VINYL CHLORIDE CONFROMING TO ASTM D 3034, SDR 35 OR APPROVED EQUIVALENT SMOOTH WALL PIPE. CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD SPECIFICATIONS.
6. CONTRACTOR SHALL TIE ALL DOWNSPOUTS INTO THE NEW STORM DRAIN SYSTEM WITH WATER TIGHT 4" DIAMETER RAIN WATER LEADERS. PROVIDE AIR GAP WHERE LEADER GOES UNDERGROUND.
7. CONTRACTOR SHALL GRADE THE INVERTS OF ALL DRAIN BOXES AND INSTALL ALL STORM DRAIN PIPING TO DRAIN SO AS TO ELIMINATE ALL STANDING WATER.
8. CONTRACTOR SHALL GRADE TO PROVIDE 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 5 FEET IN LOCATIONS WERE CONCRETE SWALE OR CONCRETE FLAT WORK IS NOT INSTALLED, UNLESS OTHERWISE NOTED
9. DIRT AND DEBRIS SHALL NOT BE WASHED INTO STORM DRAINAGE FACILITIES.
10. AGGREGATE BASE SHALL BE CLASS 2 IN CONFORMANCE WITH SECTION 26 OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD SPECIFICATIONS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFTEY 24 HOURS A DAY DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY.
12. ASPHALT CONCRETE (AC) SHALL BE 1/2" MAXIMUM TYPE "B" IN CONFORMANCE WITH SECTION 39 OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD SPECIFICATIONS. ASPHALT SHALL BE PG-6410 AND AMOUNT TO BE MIXED WITH THE AGGREGATE SHALL BE BETWEEN 5 AND 7 PERCENT BY WEIGHT OF DRY AGGREGATE. ASPHALT FOR AC CURBS SHALL BE PG-6410 WITH 3/8" MAXIMUM SIZE AGGREGATE.

5/23/18 1 RESPOND TO PLAN CHECK COMMENTS
REVISED DRAINAGE CALCULATIONS
INCREASED ROCK VOLUME IN LEVEL SPREADERS
CHANGED DRIVEWAY FROM AB TO AC

IMPERVIOUS AREA CALCULATIONS

PROPOSED IMPERVIOUS AREA

HOUSE	1,765 SF
GARAGE	520 SF
GUEST HOUSE	1,333 SF
ASPHALT DRIVEWAY	4,475 SF
TOTAL PROPOSED IMPERVIOUS AREA	8,093 SF

ESTIMATED EARTHWORK
(NOT FOR BIDDING PURPOSES)

CUT

BUILDING FOUNDATIONS	16 CUBIC YARDS
AT DRIVEWAY	193 CUBIC YARDS
GUEST HOUSE PARKING & SWALE	21 CUBIC YARDS
TOTAL CUT	230 CUBIC YARDS

FILL

BETWEEN HOUSE & GARAGE	12 CUBIC YARDS
TOTAL FILL	12 CUBIC YARDS

DOES NOT INCLUDE SHRINKAGE FACTOR FOR FILL

PLN2018-00038

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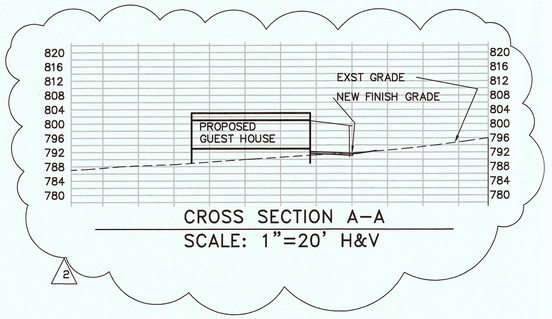
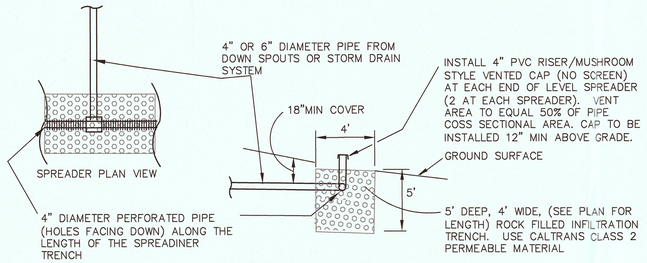
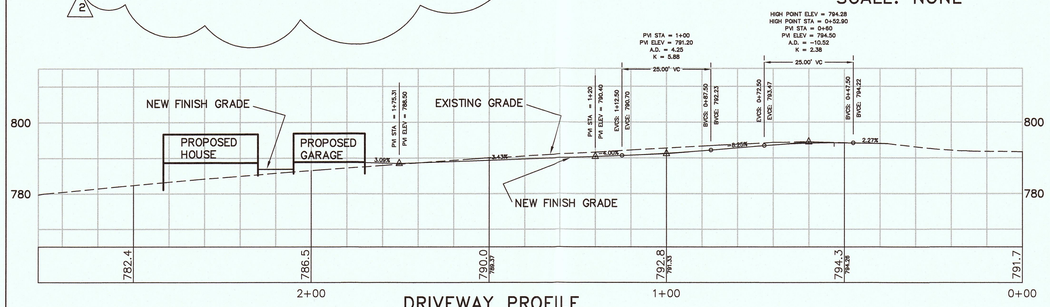


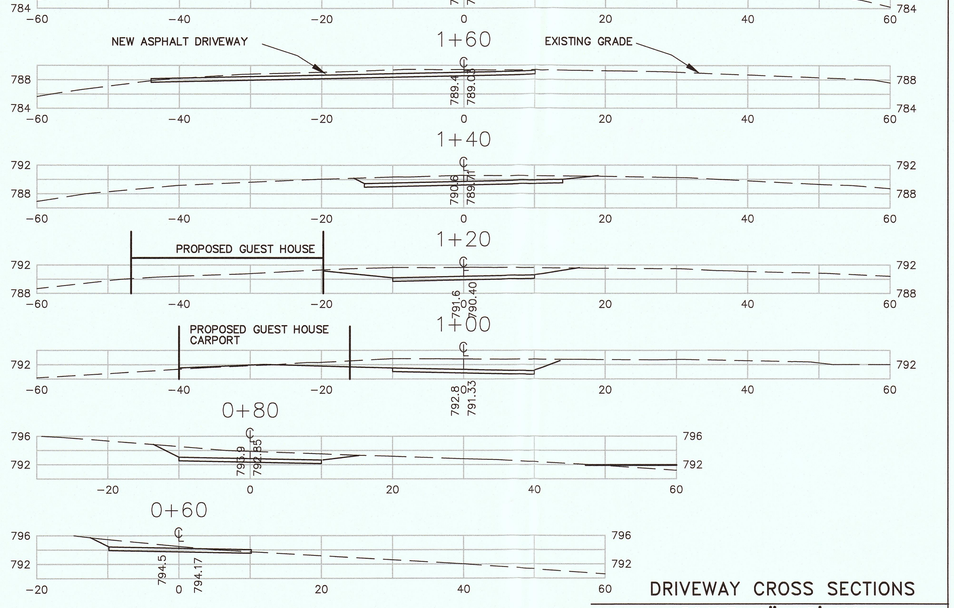
CROSS SECTION A–A
SCALE: 1"=20' H&V



DETAIL 1
SCALE: NONE



DRIVEWAY PROFILE
HOUSE & GARAGE CROSS SECTION
SCALE: 1"=20' H&V



DRIVEWAY CROSS SECTIONS
SCALE: 1"=10' H&V

FOR REDUCED PLANS ORIGINAL SCALE IN INCHES 0 1 2 3

SHEET NAME:

DRAWING NAME:

PROJECT ENGINEER
MFG Engineers, Inc
PO BOX 1914
APTOS, CA. 95001
(831) 763-1661
CEL (831) 601-9519

BY	REVISION	DATE
MFG	1 RESPOND TO PLAN CHECK COMMENTS	5/23/19
	2 MOVED GUEST HOUSE FORM NORTH OF DRIVEWAY TO SOUTH OF DRIVEWAY, NO IMPERVIOUS AREA CHANGE, REVISE EARTH WORKS CALCS	5/28/19
	3 RESPOND TO PLAN CHECK COMMENTS	6/3/19
	TO DRIVEWAY DRAINAGE SYSTEM TO LEACH FIELD EXPANSION	5/28/19

Michael F Goodhue

LICENSED LAND SURVEYOR MICHAEL F. GOODHUE No. 7897 Exp. 12/31/19 STATE OF CALIFORNIA

REGISTERED PROFESSIONAL ENGINEER MICHAEL F. GOODHUE No. 60670 Exp. 6/30/19 CIVIL STATE OF CALIFORNIA

5/28/19

APN 083-310-150
340 COGGINS ROAD, LA HONDA, CA
GRADING & DRAINAGE PLAN

DRAWN: MFG
CHECKED: MFG
DATE: 10/2017
SCALE: NOTED
JOB NO.

SHEET
C1 OF 3

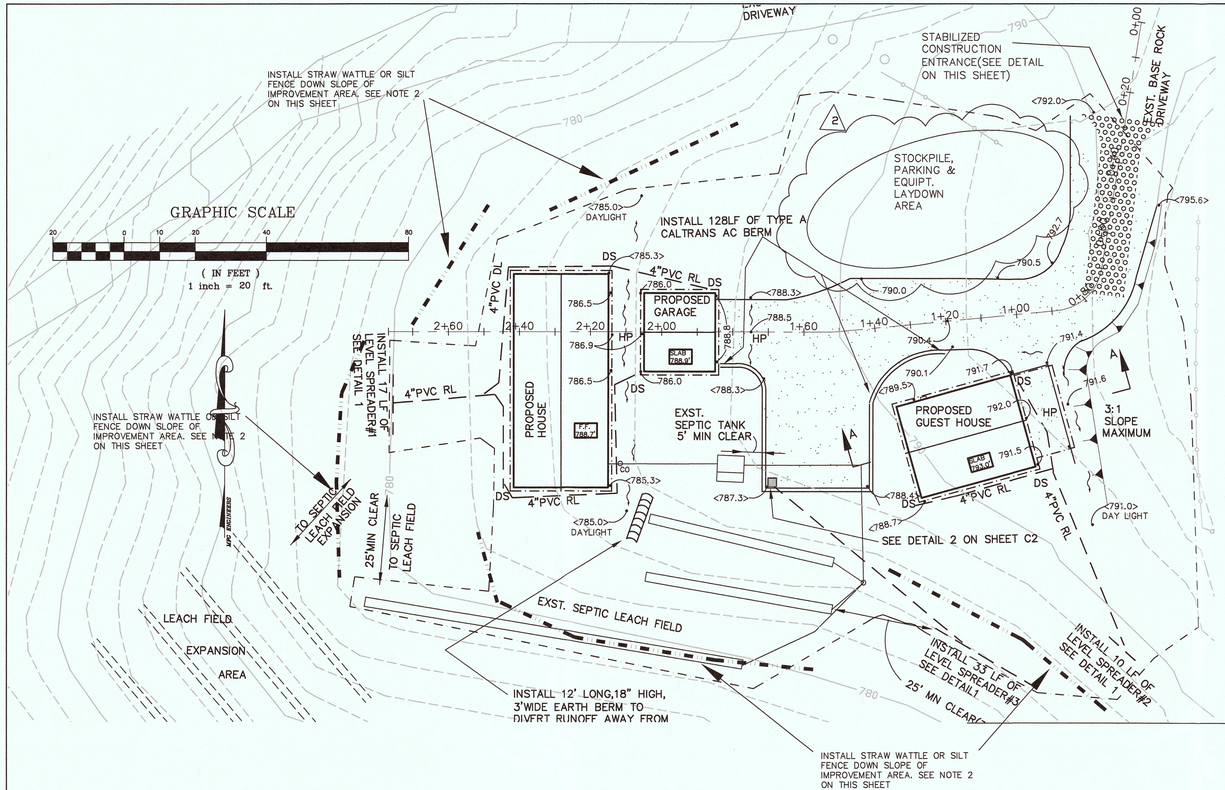


FIGURE SC-5 STABILIZED CONSTRUCTION EXIT

EROSION CONTROL REQUIREMENTS

THE FOLLOWING EROSION CONTROL AND HOUSE KEEPING MEASURES ARE INTENDED TO CONTROL THE RELEASE OF SILT, DUST, GARBAGE AND ANY OTHER POLLUTANTS FROM THE SITE OR INTO THE ATMOSPHERE AND SOIL DURING CONSTRUCTION. THESE MEASURES ARE INTNEDED TO COMPLY WITH FEDERAL, STATE AND LOCAL REQUIREMENTS THROUGH THE USE OF BEST MANAGEMENT PRACTICES (BMP's)LISTED BELOW.

1. COVER OF BARE SOIL: ONE OF THE FOLLOWING MEASURES SHALL BE USED TO COVER BARE SOI DURING THE WINTER SEASON (OCTOBER 15TH TO APRIL 15TH);

   SEED AND STRAW MULCH
   SEED AND STRAW MULCH SHALL BE USED IN DISURBED AREAS AS A MEANS FOR TEMPORARY EROSION CONTROL UNTIL PERMANENT STABILIZATION IS ESTABLISHED. IT MAY BE USED ON SLOPES UPTO 3:1 H: V (33%).

   SEED AND STRAW MULCH SHALL CONSIST OF SPREADING SEED (A MINIMUM OF 5 LBS/1000 SQ FT) OVER DISTURBED AREAS AND THEN PLACING A UNIFORM LAYER OF STRAW (2-3 BALES/100 SQ FT) AND INCORPORATING IT INTO THE SOIL WITH A STUDDED ROLLER OR ANCHORING IT WITH A TACKIFIER STABILIZING EMULSION.

   SEED SHALL BE ANNUAL WINTER BARLEY AND THE STRAW SHALL BE DERIVED FROM RICE BARLY OR WHEAT.

   EROSION CONTROL BLANKETS (GEOTEXTILE OR EROSION MATS)
   EROSION CONTROL BLANKETS ARE REQUIRED ON SLOPES STEEPER THAN 3:1, HOWEVER THEY MAY BE USED ON GROUND SURFACES FLATTER THAN 3:1 IN LIEU OF SEED AND STRAW MULCH. SEEDING MUST BE PLACED ON THE DISTURBED GROUND PRIOR TO PLACEMENT OF THE EROSION CONTOL BLANKET AND DESCRIBED IN THE SEED AND STRAW MULCH SECTION ABOVE.

2. SEDIMENT CONTROL:

   FIBER ROLLS (WATTLES) SHALL BE PLACED AT THE DOWN SLOPE PERIMETER OF DISTURBANCE LIMITS TO PREVENT OR LIMIT SEDIMENT FROM LEAVING THE SITE. IN URBAN AREAS OR SITES DIRECTLY ADJACENT TO STREETS, FIBER ROLES SHALL BE PLACED AT THE BACK OF SIDEWALK OR CURB TO LIMIT SEDIMENT FROM ENTERING THE STREET.

   STORM DRAIN INLET PROTECTION:
   ALL STORM DRAIN INLETS ON THE SITE (NEW AND EXISTING) AND EXISTING DOWNSTREAM OFFSITE INLETS SHALL RECIEVED STORM DRAIN INLET PROTECTION AS SHOWN ON THE STORM DRAIN INLET PROTECT DETAIL ON THIS PLAN.

3. STABILIZED CONSTRUCTION EXIT:
   THIS DESIGNER DOES NOT BELIEVE THAT A STABILIZED CONSTRUCTION EXIT WOULD BE EFFECTIVE FOR THIS PROJECT. CONTRACTROR SHALL EFFECTIVELY LIMIT OFF SITE TRACKING BY SWEEPING THE STREET DAILIY IF NECESSARY AND BY OTHER MEANS AS DEVISED BY THE CONTRACTOR OR DIRECTED BY THE COUNTY INSPECTOR.

4. ROCKED ACCESS AREAS:
   CONTRACTOR SHALL PROVIDE A ROCKED ACCESS AREA WERE CONSTRUCTION VEHICLES PARK, TRAVEL AND WORK. ROCKED ACCESS AREAS SHALL CONSIST OF 6" OF COMPACETED BASE ROCK OR DRAIN ROCK. ROCKED ACCESS AREAS ARE INTENDED TO KEEP CONSTRUCTION VEHICLES OFF OF BARE SOIL.

5. HOUSE KEEPING REQUIREMENTS:

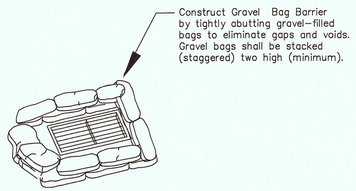
   DUST CONTROL/WIND EROSION CONTROL:
   CONTRACTOR SHALL EFFECTIVELY LIMIT DUST AND WIND EROSION BY WATERING THE SITE AS NEEDED AND KEEPING ALL MATERIAL STOCK PILES COVERED WHEN NOT IN USE.

   CONSTRUCTION MATERIALS:
   ALL LOOSE OF STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL SPOILS, AGGREGATE FLY ASH, STUCCO, HYDRATED LIME, ETC) SHALL BE COVERED AND BERMED.
   ALL CHEMICALS SHALL BE STORED IN WATERTGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED, COMPLETELY ENCLOSED.
   EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE THOSE MATERIALS AND EQUIPMENT THTA ARE INTENDED TO BE OUTSIDE.
   BEST MANAGEMENT PRACTICES TO LIMIT AND PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION MATERIALS SHALL BE IMPLEMENTED.

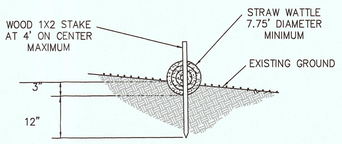
   WASTE MANAGEMENT:
   DISPOSAL OF ANY RINSE OR WASH WATER OR MATERIALS ON IMPERVIOUS OR PERVIOUS SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
   SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS. PORTABLE TIOLETS SHALL BE LOCATED A MINIMUM OF 20' FROM DRAIN INLETS, STREETS, DRIVEWAYS, DRAINAGE FACILITIES, STREAMS OR OTHER RIPARIAN AREAS.
   SANITATION FACILITIES SHALL BE INSECTED REGULARLY AND CLEANED AND REPLACED AS NECESSARY.
   COVER WASTE AND DISPOSAL CONTAINERS AT THE END OF EACH WORK DAY AND DURING EACH RAIN EVENT.
   DISCHARGES FROM WASTE DISPSOAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM SHALL BE PREVENTED.
   STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
   PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
   EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE SO THAT SPILLS AND LEAKS CAN AND SHALL BE CLEANED IMMEDIATLEY AND DISPOSED OF PROPERLY.
   CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT CONTAIN POSSIBLE POLLUTANTS SHALL BE CONSTRUCTED TO EFFIECTIVELY CONTAIN POLLUTANTS SO THAT THERE IS NO DISCHARGE INTO THE SOIL OR SURROUNDING AREA.

6. VEHICLE STORAGE & MAINTENANCE:
   MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE OR FUEL FROM LEAKING ONTO THE GROUND OR INTO STORM DRAINS OR SURFACE WATERS.
   ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED , MAINTAINED AND STORED ON SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP's.
   LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

7. LANDSCAPE MATERIALS:
   CONTAIN STOCKPILED AND STORED MATERIALS SUCH AS MULCHES, TOPSOIL, FERTILIZERS AND OTHER LANDSCAPE MATERILS WHEN THEY ARE NOT BEING ACTIVELY USED.
   DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCPAE MATERIALS WITHIN 2 DAYS BEFORE A FORECAST RAIN EVENT OR DURING PERIODS OF RAIN.
   APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MAUFACTURES' RECOMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED PERSONNEL.



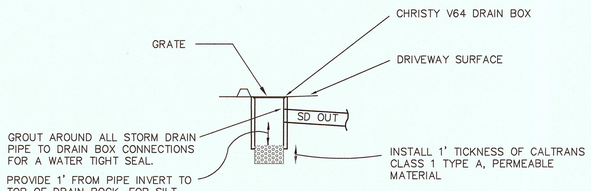
PERSPECTIVE



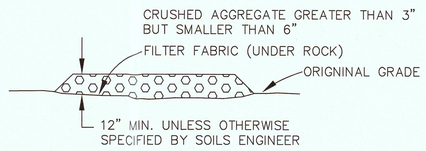
SECTION
STRAW WATTLE DETAIL
NO SCALE

TEMPORARY STORM DRAIN INLET SILT PROTECTION
FOR ALL DRAIN BOXES DURING CONSTRUCTION
NO SCALE

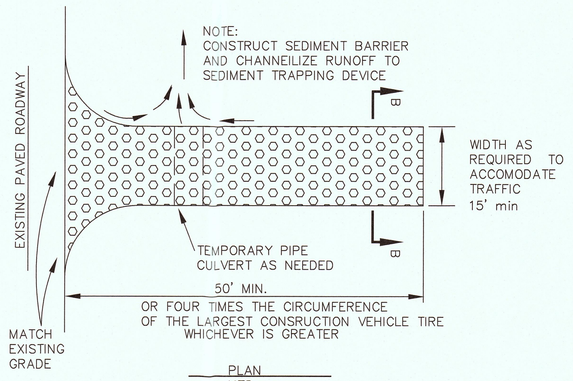
TEMPORARY WATER POLLUTION CONTROL DETAILS (TEMPORARY DRAINAGE INLET PROTECTION)



DETAIL 2
SILT & DEBRIS TRAP
SCALE: NONE



SECTION B-B
NTS



PLAN
NTS

FOR REDUCED PLANS ORIGINAL SCALE IN INCHES 0 1 2 3

SHEET NAME:

DRAWING NAME:

Michael F Goodhue

BY	DATE	REVISION
MFG	4/3/19	1 RESPOND TO PLAN CHECK COMMENTS 2 MOVED STOCK PILE AREA TO NORTH OF DRIVEWAY

PROJECT ENGINEER
MFG Engineers, Inc
PO BOX 1914
APTOS, CA. 95001
(831) 763-1661
CEL (831) 601-9519

APN 083-310-150

340 COGGINS ROAD, LA HONDA, CA

GRADING & DRAINAGE PLAN

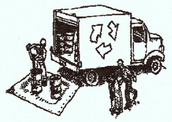
DRAWN: MFG
CHECKED: MFG
DATE: 10/2017
SCALE: NOTED
JOB NO.
SHEET
C2 OF 3

SAN MATEO COUNTYWIDE
Water Pollution Prevention Program
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control

Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

Paving/Asphalt Work

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

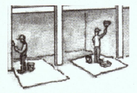
Concrete, Grout & Mortar Application

- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

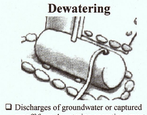
Painting & Paint Removal



Painting Cleanup and Removal

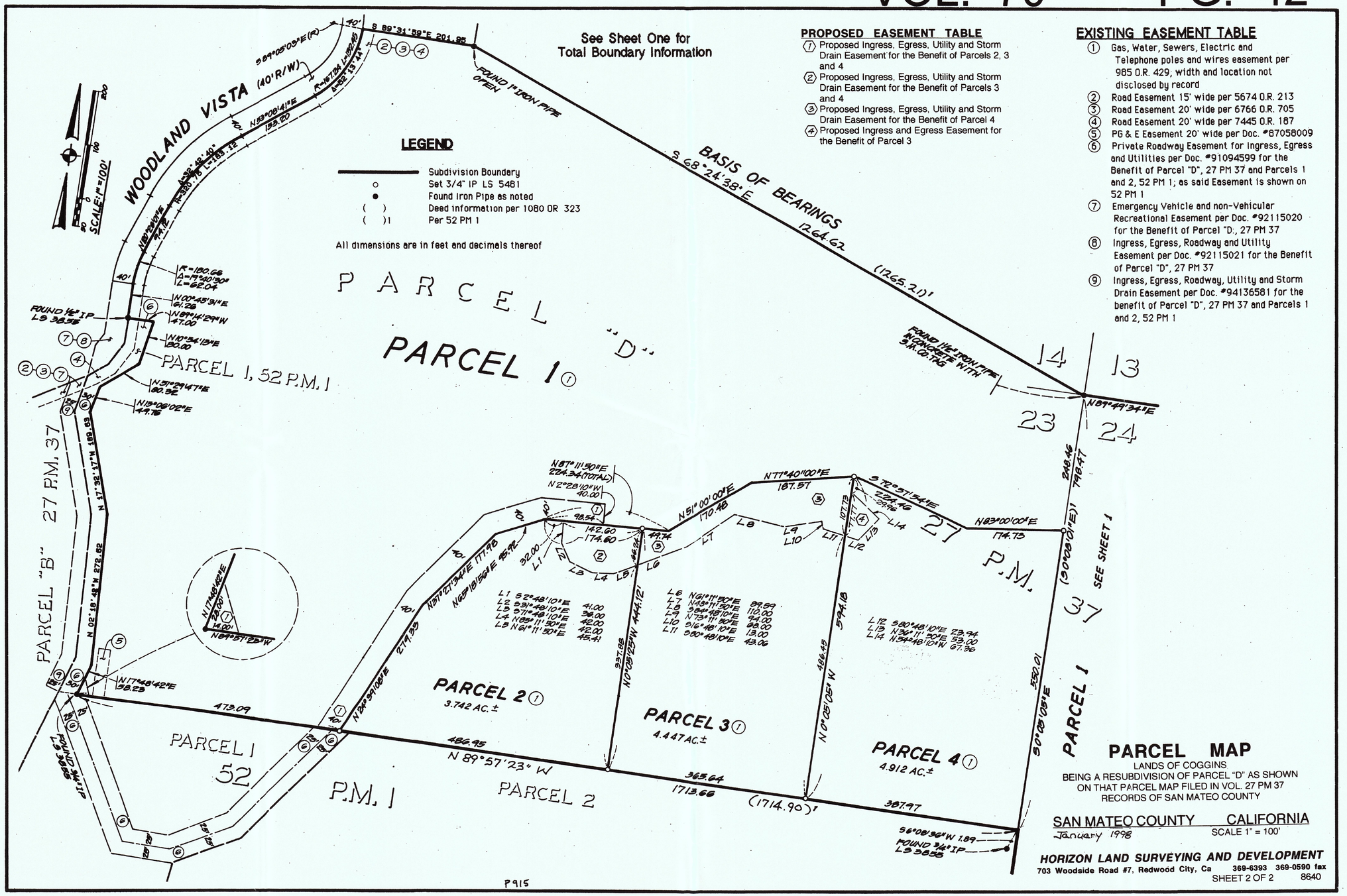
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to $10,000 per day!



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