

NEW ADDITION & REMODELING

504 LAKEMEAD WAY EMERALD HILLS, CA 94062

DESIGN DATA

2019 CALIFORNIA ADMINISTRATIVE CODE
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA ELECTRIC CODE
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2019 CALIFORNIA FIRE CODE
 2019 CALIFORNIA EXISTING BUILDING CODE
 2019 CALIFORNIA REFERENCED STANDARDS CODE
 ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.
 ADOPTION OF THE 2019 EDITION OF THE CALIFORNIA STATE BUILDING CODES, TITLE 24, CALIFORNIA CODE OF REGULATIONS IS MANDATED BY PART 25 OF DIVISION 13 OF THE CALIFORNIA HEALTH & SAFETY CODE (SECTION 18801 ET SEQ.) THE FOLLOWING LOCAL AMENDMENTS TO THE CALIFORNIA STATE BUILDING CODES WERE FILED WITH THE BUILDING STANDARDS COMMISSION.

GENERAL NOTES:

- ALL DETAILS MATERIALS, FINISHES AND ASSEMBLIES ARE NOT NECESSARILY SHOWN. THESE FINAL FINISH DETAILS INCLUDING CASEWORK AND MATERIAL SELECTIONS WILL BE COORDINATED BY THE OWNER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, APPLICABLE EDITION, AND ALL OTHER PERTINENT CODES, LAWS AND REQUIREMENTS OF THE LOCAL BUILDING OFFICIALS, WHETHER OR NOT SPECIFICALLY SHOWN ON THESE DOCUMENTS. THESE DOCUMENTS ARE NOT INTENDED TO SHOW EVERY DETAIL OR CONDITION. MANY DETAILS IN RESIDENTIAL CONSTRUCTION ARE BUILT ACCORDING TO PROFESSIONAL CONSTRUCTION PRACTICES, AND ARE THEREFORE NOT DETAILED IN THESE DOCUMENTS. CONTACT J C DESIGN, IF CONDITIONS OR OTHER CIRCUMSTANCES REQUIRE CHANGES IN THE WORK SHOWN, OR REQUIRE CLARIFICATION. ALL WORK SHALL BE DONE IN A HIGH QUALITY MANNER, ACCORDING TO THE PREVAILING STANDARDS OF THE INDUSTRY FOR EACH TRADE.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION AND CLEAN-UP TO ACCOMPLISH ALL OF THE WORK SHOWN, INCLUDING ALL WARRANTIES AND INSTRUCTIONS, TO PROVIDE A COMPLETE WORKING INSTALLATION, AND TO LEAVE THE OWNER WITH AN APPROVED PRODUCT.
- CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR ALL SAFETY MEASURES TO PROTECT ALL PROPERTY, PERSONNEL AND THIRD PARTIES FROM DAMAGE OR INJURY. THIS RESPONSIBILITY SHALL BE CONTINUOUS AND NOT SOLELY DURING WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS J C DESIGN, AND RELATED ENGINEERS FROM ANY CLAIMS OF LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF HIS WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF J C DESIGN AND RELATED ENGINEERS.
- THESE DOCUMENTS DO NOT CONTAIN PROVISIONS FOR THE HANDLING OR REMOVAL OF ANY HAZARDOUS MATERIALS. SHOULD ANY SUCH MATERIALS BE SUSPECTED OR ENCOUNTERED, SPECIALISTS SHALL BE CALLED IN TO MAKE RECOMMENDATIONS.
- PROVIDE ALL MANDATORY FEATURES REQUIRED BY THE T-24 ENERGY CODE, INCLUDING WEATHER-STRIPPING, BUILDING INSULATION, PIPE INSULATION, LIGHTING AND APPLIANCE MEASURES, AND OTHER FEATURES REQUIRED BY TITLE 24 OR OTHER STATE, FEDERAL OR LOCAL CODES.
- NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS PERMITTED BY THE LOCAL JURISDICTION.

PROJECT DATA

1. LOT LOCATION: 504 LAKEMEAD WAY
EMERALD HILLS, CA 94062

2. APN: 057-262-200

3. OCCUPANCY GROUP: R-3 DWELLING/ U GARAGE

4. CONSTRUCTION TYPE: TYPE V-B

5. ZONING DISTRICT: R-H/DR

6. LOT SIZE: IRREGULAR LOT

7. SITE AREA (BASED ON THE COUNTY RECORD): 9,910 SQ. FT.

8. MAXIMUM ALLOWABLE LOT COVERAGE RATIO = 25%: 2,291.75 SQ. FT.

9. MAXIMUM FLOOR AREA COVERAGE RATIO = 30%: 2,751.30 SQ. FT.

10. BUILDING DATA:

EXISTING GARAGE AREA (TO BE RELOCATED):	426.34 SF.
EXISTING MAIN FLOOR:	933.29 SF.
EXISTING LOWER FLOOR AREA:	178.10 SF.
TOTAL EXISTING FLOOR AREA:	2,137.73 SF.
TOTAL EXISTING LOT COVERED AREA / RATIO:	1,359.63 SF/ 14.19 %
PROPOSED NEW ATTACHED ACCESSORY DWELLING UNIT AREA:	791.11 SF.
PROPOSED LOWER FLOOR ADDITION AREA:	133.61 SF.
PROPOSED MAIN FLOOR ADDITION AREA:	362.30 SF.
PROPOSED UPPER FLOOR ADDITION AREA:	158.65 SF.
TOTAL NEW FLOOR ADDITION AREA (EXCLUDED ADU):	654.62 SF.
PART OF EXISTING GARAGE CONVERTED TO CONDITIONED SPACE:	11.41 SF.
EXISTING CONDITIONED FLOOR AREA:	1,122.80 SF.
(EXISTING + NEW) CONDITIONED FLOOR AREA:	2,243.75 SF.
TOTAL FLOOR AREA:	2,658.68 SF.
(EXISTING + NEW) FLOOR AREA / RATIO (F.A.R.):	2,658.68 SF/ 26.82 %
TOTAL LOT COVERED AREA / RATIO (L.A.R.) (EXCLUDE ADU):	1,880.58 SF/ 20.46 %
TOTAL LOT COVERED AREA / RATIO (L.A.R.):	2,273.11 SF/ 24.13 %

STRUCTURAL OBSERVATION/ SPECIAL INSPECTION IS REQUIRED FOR

- SHEAR WALLS WITH DESIGN LOAD OF 300 PLF OR GREATER.
- INSTALLATION OF EPOXY INSTALLED ANCHOR BOLTS.
- ALL UTILITY TRENCHES, BUILDING PAD SHALL BE PROPERLY BACK-FILLED AND COMPACTED.
- THE FOUNDATION EXCAVATION, HOLDOWN.
- INSTALLATION OF SIMPSON STRONG WALL.

ILLUMINATED STREET ADDRESS

ADDRESS NUMBERS ASSIGNED BY THE PLANNING AND BUILDING DIVISION SHALL BE POSTED ON ALL DWELLING UNITS.
 Provide an illuminated street address at the entry door per City ordinance. Approved numbers or addresses shall be placed in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall contrast with their background, and shall be a minimum of 1/2 inch stroke by 4 inches high shall be either internally or externally illuminated. The power of such illumination shall not be normally switchable.
 ADDRESS NUMBER AND DIRECTIONAL SIGNS MAY BE REQUIRED AT THE ENTRANCE TO THE DRIVEWAY/ ACCESS ROAD, ROAD FORKS, AND INTERSECTIONS, WHEN LOCATED ON THE STREET THE NUMBERS SHALL BE VISIBLE FROM EACH DIRECTION OF TRAVEL.
 NOTE:
 1. AN AUTOMATIC SPRINKLER SYSTEM (13D) IS REQUIRED THROUGH-OUT THE ENTIRE STRUCTURE UNDER A SEPARATE PERMIT.
 2. THE REQUIRED SPRINKLER SYSTEM SHALL BE A DEFERRED SUBMITTAL FOR APPROVAL FROM THE FIRE MARSHALL OF THE CITY OF PALO ALTO PRIOR TO INSTALLATION.

FIRE SPRINKLER NOTE:
 1. FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE ENTIRE STRUCTURE UNDER A SEPARATE PERMIT.

2. CONTRACTOR SHALL FURNISH THE DESIGN AND CONSTRUCTION AND INSTALLATION OF AN APPROVED FIRE SPRINKLER SYSTEM. THE DESIGN SHALL BE PROVIDED BY AN APPROVED FIRE SPRINKLER CONTRACTOR THAT IS LICENSED TO WORK IN THE STATE. ALL LABOR, MATERIALS, VALVES, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE THE PROJECT SHALL BE INCLUDED. LAYOUT DRAWINGS, DESIGN AND EQUIPMENT LISTS MUST BE REVIEWED AND APPROVED BY THE FIRE MARSHALL AND THE BUILDING DEPARTMENT PRIOR TO INSTALLATION. DRAWINGS SHALL SHOW THE BUILDING TO BE COMPLETELY SPRINKLERED THROUGH OUT, ALL CONCEALED AREAS INCLUDING ATTIC AND GARAGES. A FOUR HEAD CALCULATION WILL ALSO BE REQUIRED TO ENGINEER THE SYSTEM.

SHEET INDEX

ARCHITECTURAL

A0 COVER SHEET
 A1 PROPOSED SITE/ ROOF PLAN
 A2 EXISTING MAIN/ LOWER & UPPER FLOOR PLAN
 A3 LOWER & MAIN & UPPER FLOOR DEMOLITION PLAN
 A4 LOWER & MAIN FLOOR, UPPER FLOOR UN-PERMITTED PLAN
 A5 PROPOSED MAIN/ LOWER AND UPPER FLOOR PLAN
 A6 EXISTING & PROPOSED FRONT & REAR ELEVATION
 A7 EXISTING & PROPOSED RIGHT SIDE ELEVATION
 A8 EXISTING & PROPOSED LEFT SIDE ELEVATION
 A9 BUILDING CROSS SECTION
 BMP CONSTRUCTION BEST MANAGEMENT PRACTICE

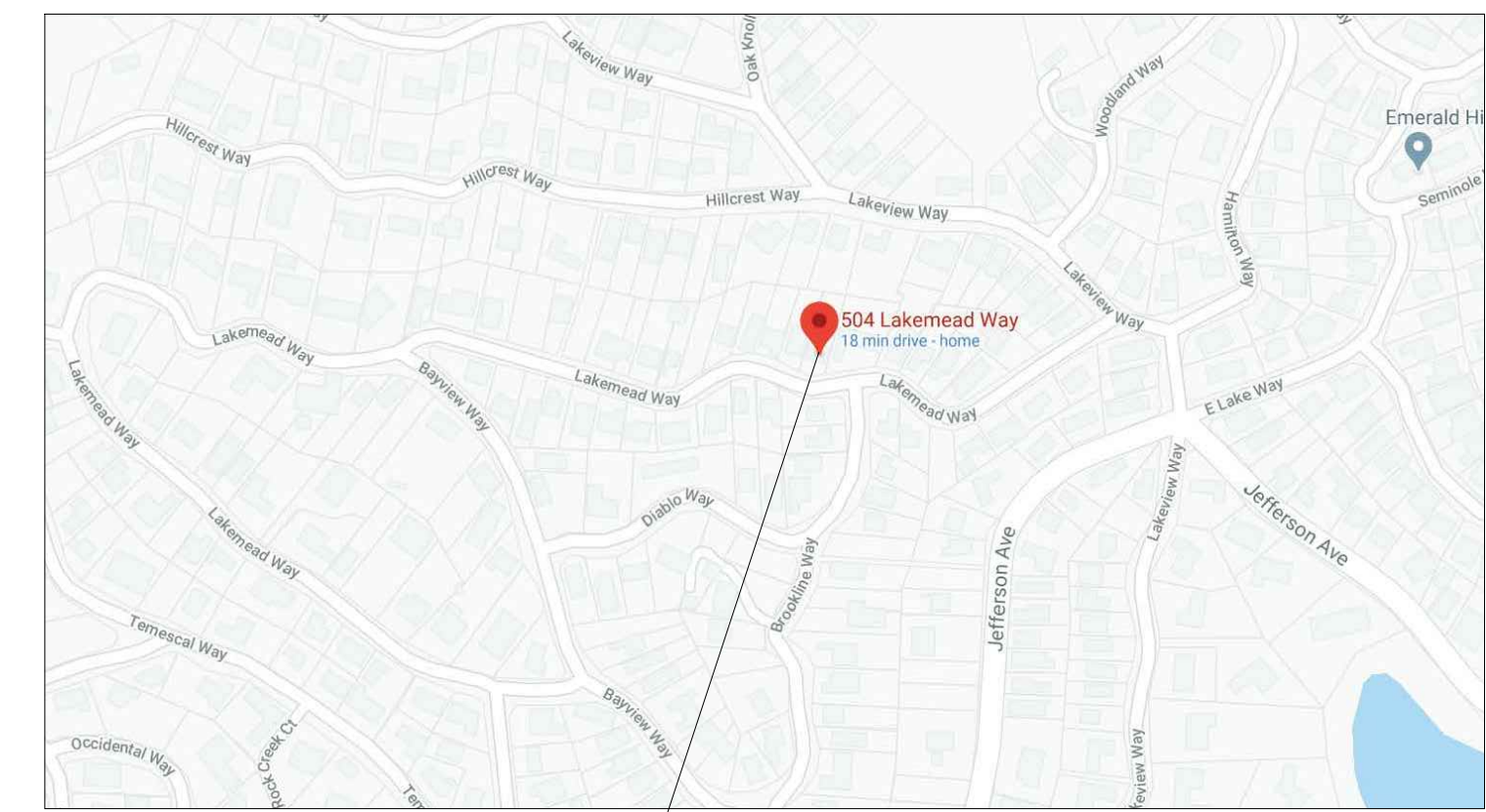
CIVIL

C0 BOUNDARY SURVEY
 C1 GRADING & DRAINAGE PLAN
 C2 CONSTRUCTION BEST MANAGEMENT PRACTICES

LANDSCAPE

L11 LANDSCAPE PLAN & NOTES

LOCATION MAP



PROJECT SITE

HERS FEATURE SUMMARY:
 THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING IN MODELED ENERGY PERFORMANCES FOR THIS COMPUTER ANALYSIS. ADDITIONAL DETAILS ID PROVIDED IN THE BUILDING COMPONENTS TABLE BELOW.

- BUILDING -LEVEL VERIFICATIONS: NONE.
- COOLING SYSTEM VERIFICATION: MINIMUM AIRFLOW AND FAN EFFICACY WATTS/ CFM.
- HVAC DISTRIBUTION SYSTEM VERIFICATIONS: DUCT SEALING.
- DOMESTIC HOT WATER SYSTEM VERIFICATION: NONE.

PROJECT DIRECTORY

PROPERTY OWNER:

MR. CASEY KORSAK
 2000 ROCK STREET #3
 MOUNTAIN VIEW, CA 94043
 TEL: 650-393-3433

BUILDING DESIGN:

JACK CHU DESIGN GROUP
 210 INDUSTRIAL ROAD STE. 209
 SAN CARLOS, CA 94070
 CELL: (650) 208-8898
 E-MAIL: jackchu2@yahoo.com

STRUCTURAL DESIGN:

FMD Engineering, Inc.
 Mr. Francisco Duarte
 32108 ALVARADO BLVD., #340
 UNION CITY, CA 94581
 TEL: (510) 421-8141
 E-MAIL: fduarte@fmdengr.com

TITLE 24:

NRG Compliance, LLC
 Mr. Rick Rocklewitz
 P.O. BOX #3111
 SANTA ROSA, CA 95402
 TEL: (707) 237-6951

BOUNDARY SURVEY:

SAVIOR P. MICALLEF
 421 WILDWOOD DRIVE
 SOUTH SAN FRANCISCO, CA 94080
 TEL: 805-109-2423
 TRIAD HOLMES ASSOCIATES, INC.
 111 WOODSIDE ROAD, STE. 2A
 REDWOOD CITY, CA 94061
 TEL: 650-366-0216

CIVIL:

SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 TEL: 650-728-3590
 FAX: 650-728-3593

LANDSCAPE:

BRUCE A. CHAN
 LANDSCAPE ARCHITECT.
 923 ARGUELLO STREET, SUITE 200
 REDWOOD CITY, CA 94063
 TEL: 650-346-7645
 Email: bacla@bcglobal.net

SCOPE OF WORK:

- DEMOLISH PARTIAL ROOF FOR THE COFFER CEILING (360.11 SF OR 11.1 % OF ROOF)
- COVER EXISTING BATHROOM IN BETWEEN BEDROOM #2 AND #3 INTO TWO BATHS.
- DEMOLISH INTERIOR NON-BEARING WALL AT DINING ROOM.
- REVERSE THE RUN OF THE STAIR FROM LOWER GARAGE TO MAIN FLOOR.
- DEMOLISH EXISTING OUT-DATED CABINETS AND COUNTER-TOP, REPLACE WITH NEW LOWER AND UPPER CABINETS WITH GRANITE COUNTER-TOP.
- ADD NEW POWDER ROOM AND NEW PANTRY NEXT TO THE STAIRS.
- ADD NEW LAUNDRY ROOM AND NEW BATH #1 NEXT TO EXISTING BEDROOM.
- ADD NEW MASTER SUITE WITH NEW MASTER BATH AND WALK-IN-CLOSET.
- NEW ADDITION WILL BE ON THE PIER AND GRADE BEAM PER SOIL ENGINEER REPORT.
- NEW DOGLEG STAIR (REPLACE EXISTING) WITH 1 HOUR ENCLOSURE AT GARAGE LEVEL. NO OTHER WORK PROPOSED AT GARAGE LEVEL.

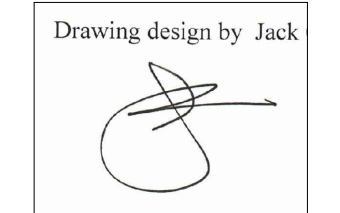
CONDITIONS OF APPROVAL:

- PROJECT IS APPROVED. EXEMPTION FROM DESIGN REVIEW GRANTED.
- ONLY PLANNING REQUIREMENT IS ADDITION WILL MATCH EXISTING HOME.

Jack Chu DESIGN

PLANNING
 CONSULTING CUSTOM HOMES
 REMODELING ADDITION
 210 Industrial Rd #209
 San Carlos, CA 94070
 O 650-486-0550
 C 650-208-8898
 jackchu21@yahoo.com

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ADDITION & REMODELING
 Owner: Mr. Casey Korsak
 504 Lakemead Way Emerald Hills, CA 94062
 Tel.: 650-393-3433
 Email: casey.korsak@wellsfargoadvisors.com

COMMENTS	BY

DATE:	APRIL 8, 2022
SCALE:	AS NOTED
DRAWN:	Jack Chu
CHK:	Korsak
SHEET NO.	


A.0

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Drawing design by Jack



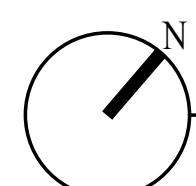
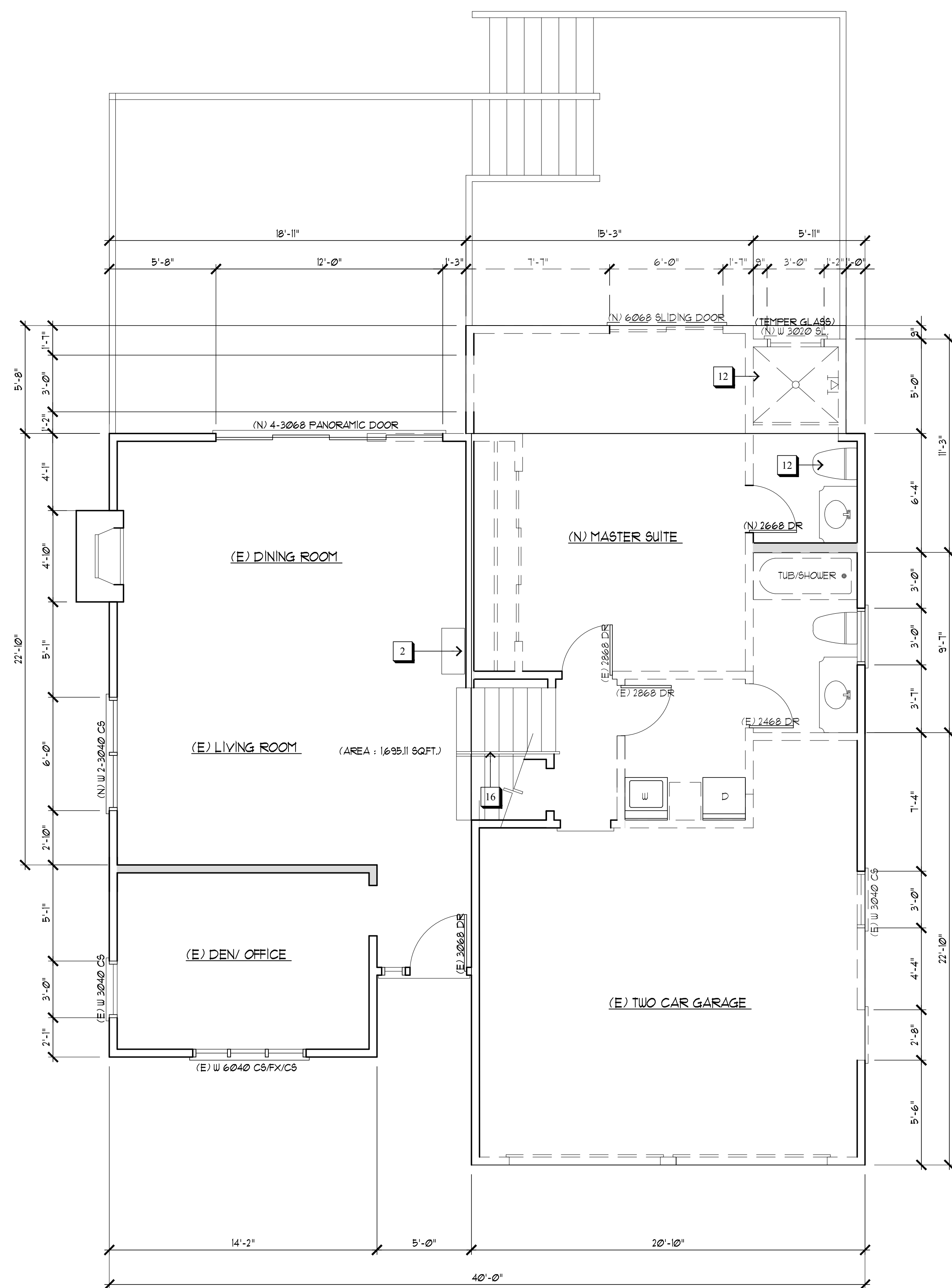
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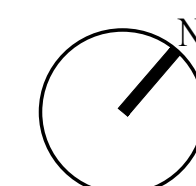
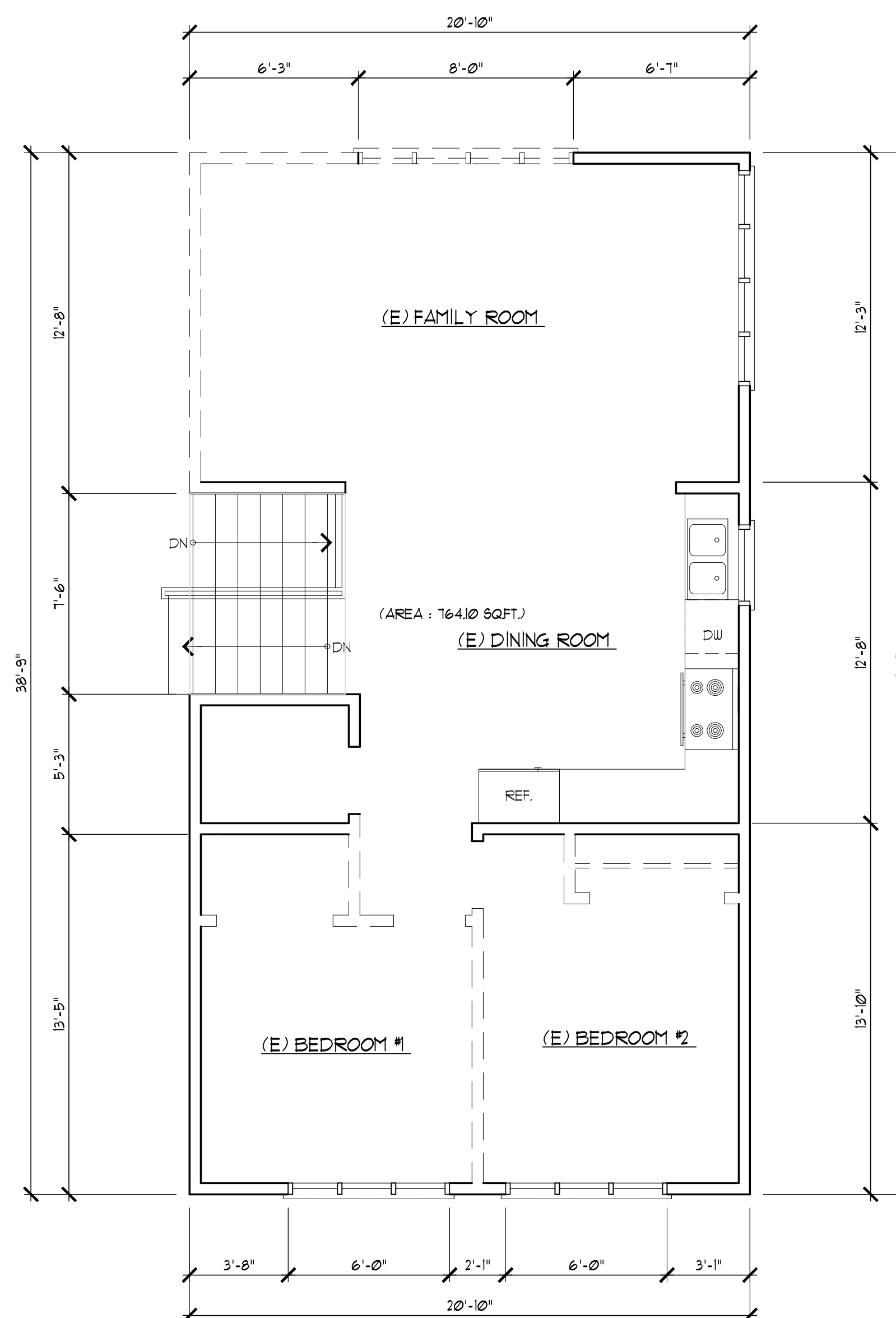
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OF SHEETS



LOWER & MAIN FLOOR UN-PERMITTED PLAN

SCALE: 1/4" = 1'-0"

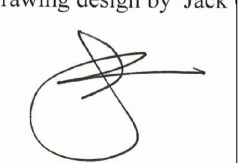


UPPER FLOOR UN-PERMITTED PLAN

SCALE: 1/4" = 1'-0"

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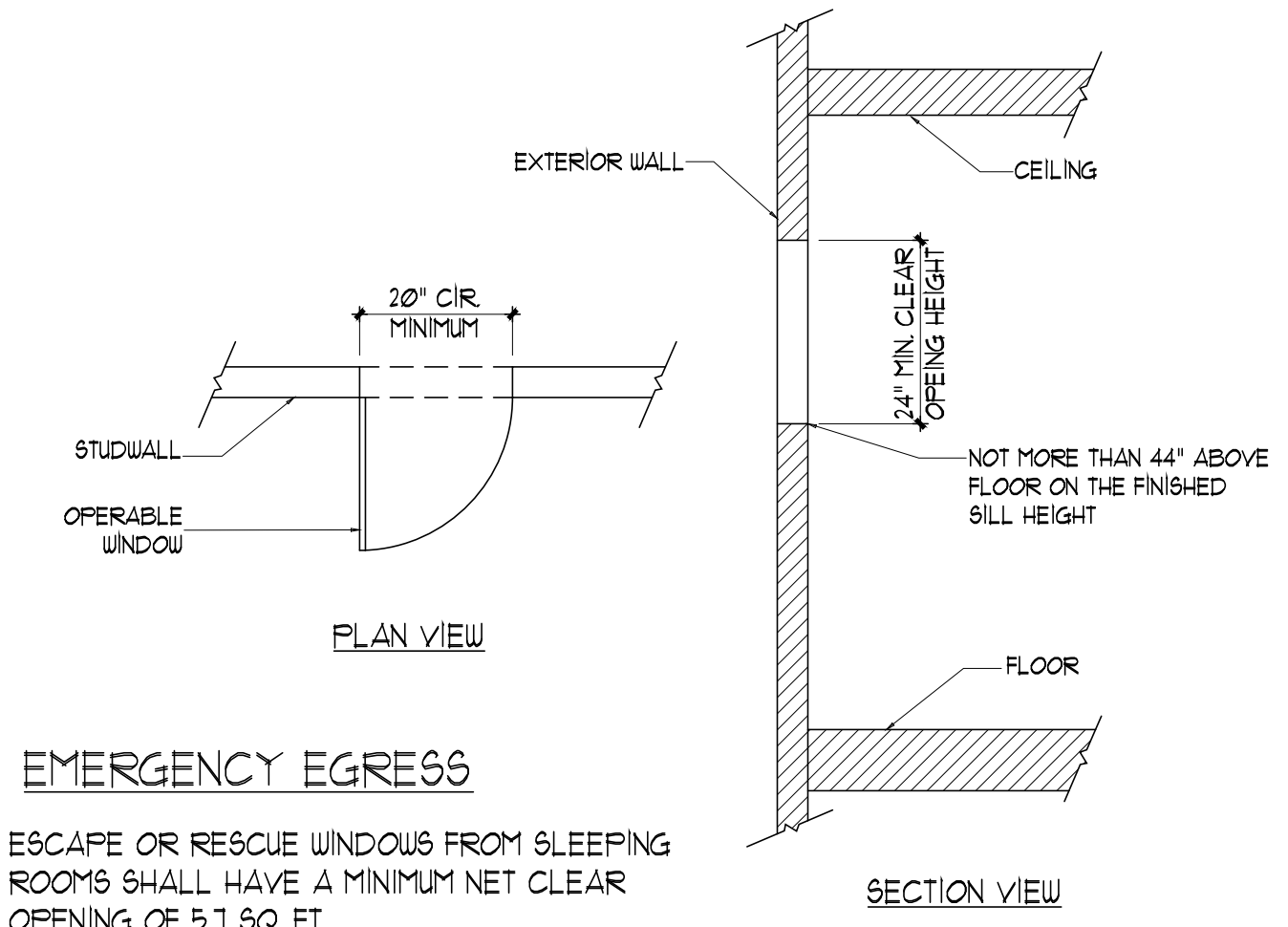
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EMERGENCY EGRESS

ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. EVERY SLEEPING ROOM BELOW THE FOURTH STORY SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. THE UNITS SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS.

LOCAL VENTILATION RATE SUMMARY
 ENTER THE REQUIRED FAN FLOW RATE (CFM)

BATHROOM FAN FLOW (CFM) = 100 * OF BATHROOM = 3

USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE WHOLE-BUILDING VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE WHOLE-BUILDING VENTILATION SYSTEM FROM TABLE T1

DUCT SIZE (INCHES) = 6"

MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 125

WATER USE WORKSHEET

EXIST + ADDED = SUM	TYPE OF FIXTURE	FIXTURE MULTIPLIER	UNITS
1 + 1 = 2	BATH TUB (WITH OR WITHOUT SHOWER)	x 4	8
+ = 1	CLOTHES WASHER	x 4	4
+ = 1	DISH WASHER	x 15	15
2 + 5 = 7	LAVATORY (BATHROOM SINK)	x 1	7
1 + 1 = 2	STALL SHOWER (COUNT EACH HEAD)	x 2	2
1 + 1 = 2	SINK (KITCHEN SINK OR OTHER SINK)	x 15	30
2 + 2 = 4	TOILET (WATER CLOSET)	x 25	100
FIXTURE UNIT TOTAL:			3550

BATHROOM VENT CALCULATION:

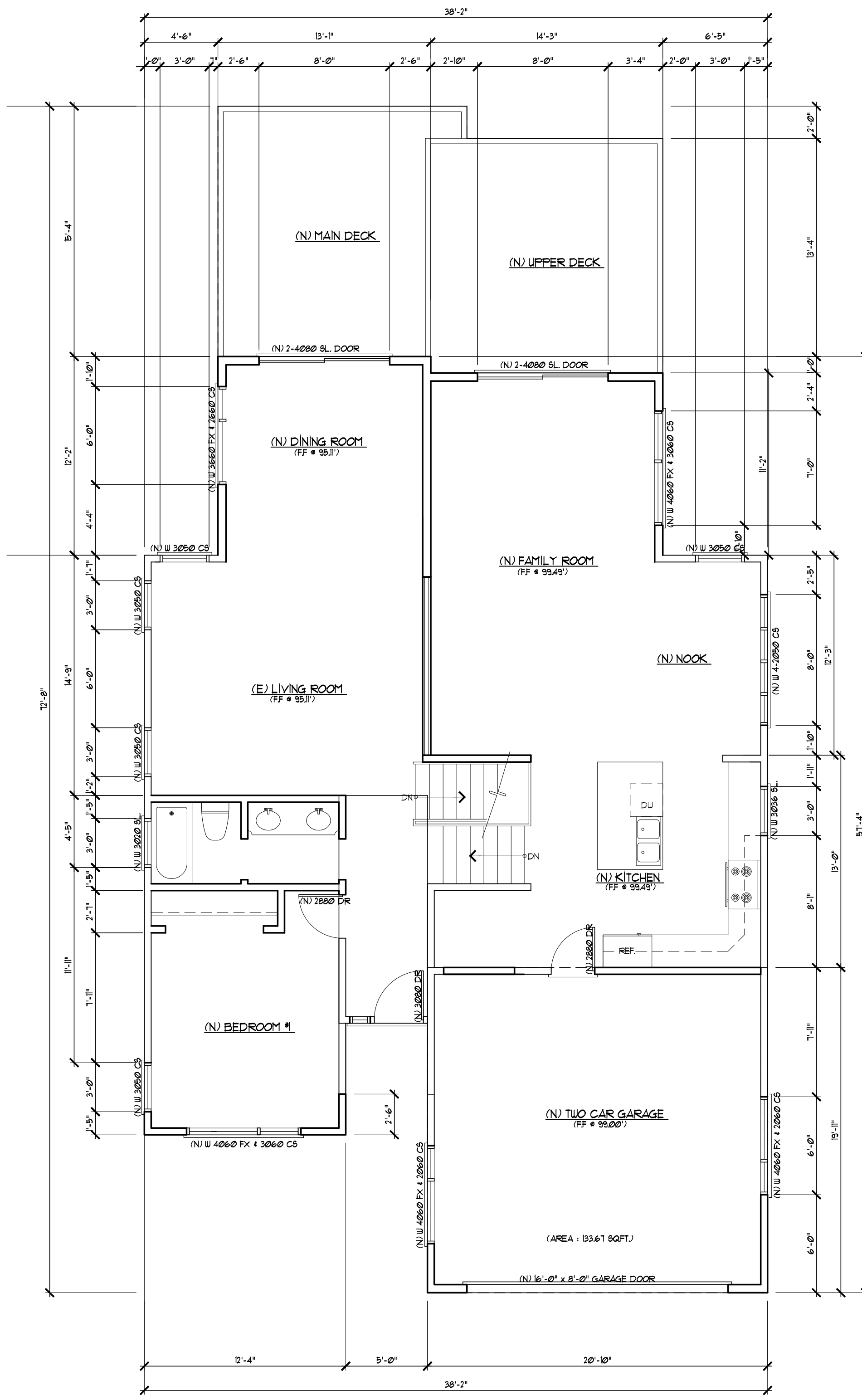
LOCATION	AREA	RATE	TOTAL REQUIRED
BATH #1	25.0 SQ.FT.	8%	224 SQ.FT.
BATH #2	63.95 SQ.FT.	8%	511 SQ.FT.
BATH #3	63.95 SQ.FT.	8%	511 SQ.FT.
MASTER BATH	96.31 SQ.FT.	8%	771 SQ.FT.
LAUNDRY	31.61 SQ.FT.		301 SQ.FT.

LOCATION	OPENING SIZE / MECH. VENT	QTY.	TOTAL PROVIDED
(E) BATH	2'-0"x2'-0"	1	4.00 SQ.FT.
BATH #2	2'-0"x3'-0"	1	6.00 SQ.FT.
MASTER BATH	2'-0"x4'-0"	1	8.00 SQ.FT.
LAUNDRY	2'-0"x2'-0"	1	4.00 SQ.FT.

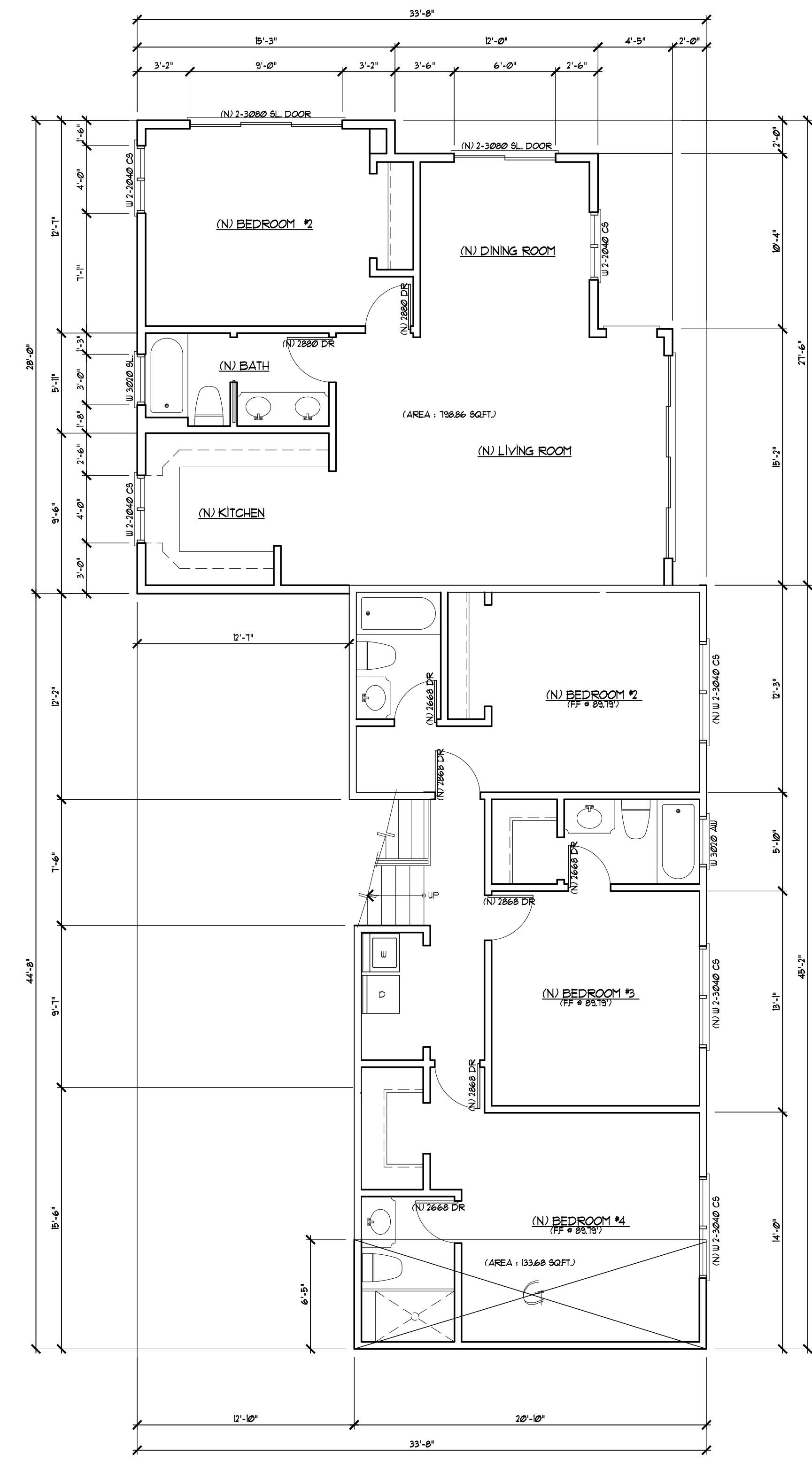
FOR INTERMITTENT LOCAL EXHAUST, THE MINIMUM BATHROOM INTERMITTENT VENTILATION AIRFLOW SHALL BE 50 CFM AND FOR KITCHEN HOOD EXHAUST SHALL BE 100 CFM (OR AS AN ALTERNATE, PROVIDE CEILING OR WALL MOUNTED EXHAUST FAN OR DUCTED VENTILATION SYSTEM THAT PROVIDES AT LEAST 5 AIR CHANGES OF THE KITCHEN VOLUME PER HOUR). ASHRAE 62.2-2010, SEC. 4.6.5.

LEGEND:

- ==== (E) PARTITION TO REMAIN
- (E) PARTITION TO BE DEMOLISHED
- ==== (N) PARTITION
- ==== (N) ONE-HOUR FIRE WALL



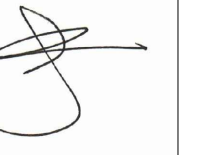
PROPOSED MAIN FLOOR & UPPER FLOOR PLAN
 SCALE: 3/16" = 1'-0"



PROPOSED LOWER FLOOR PLAN
 SCALE: 3/16" = 1'-0"

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Drawing design by Jack



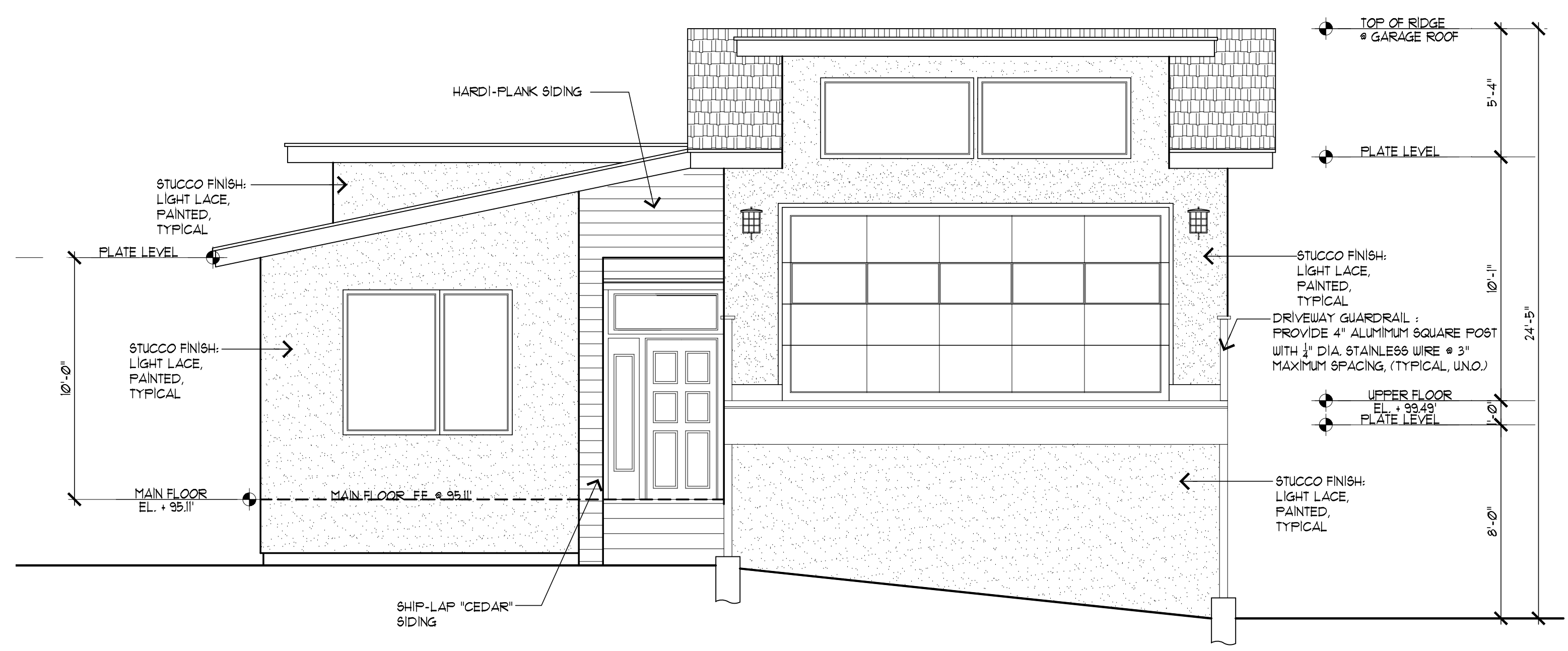
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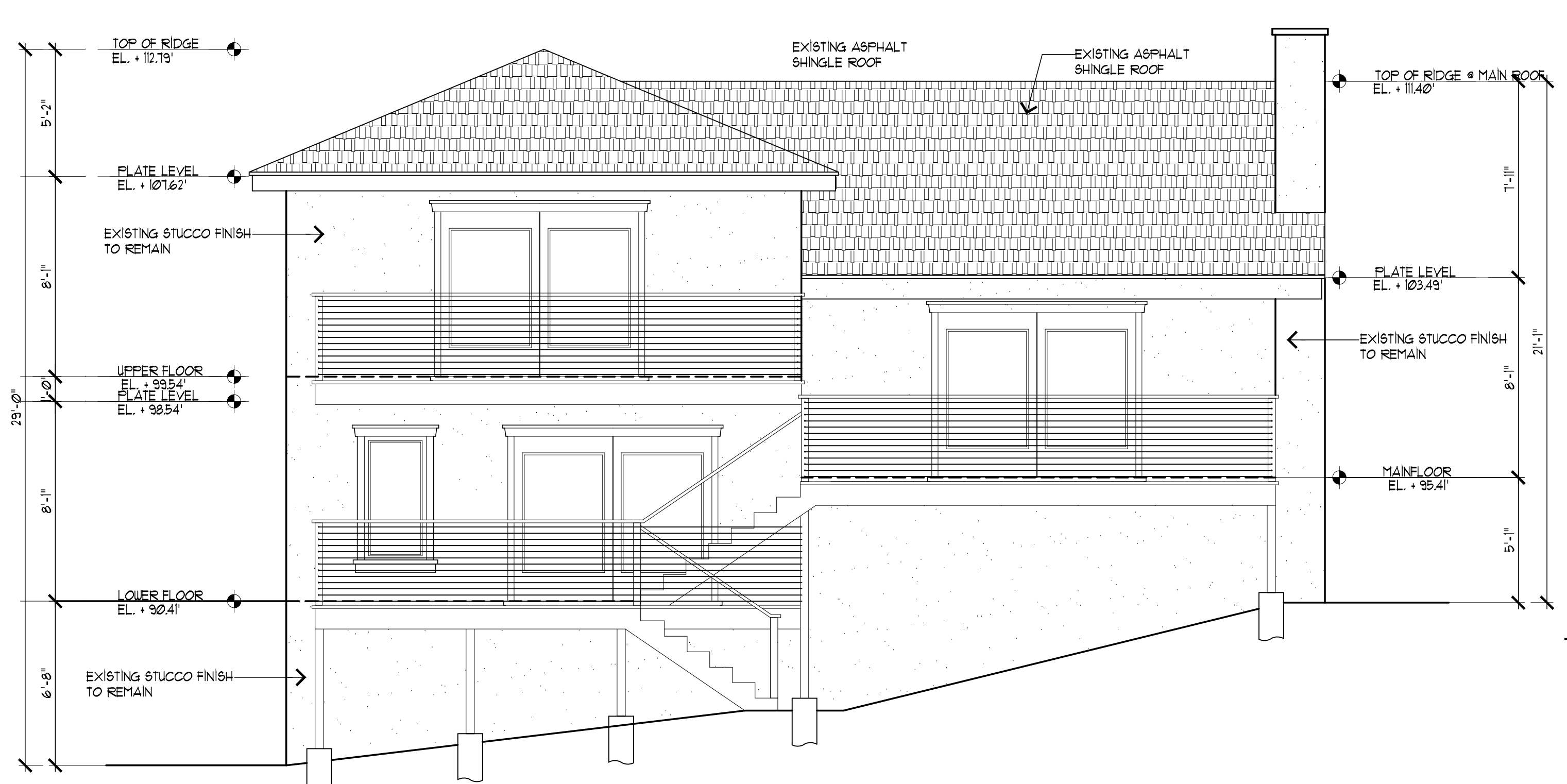
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JOB:	Korsak
SHEET NO:	



PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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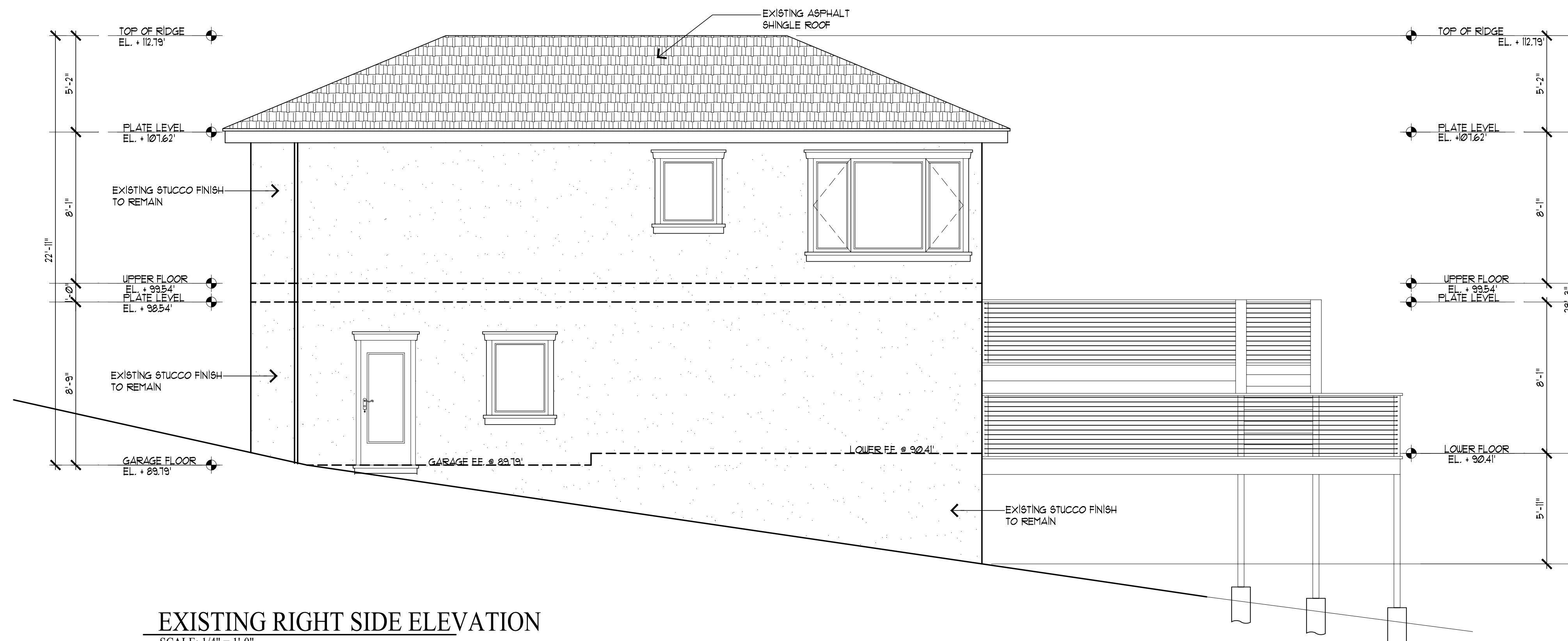
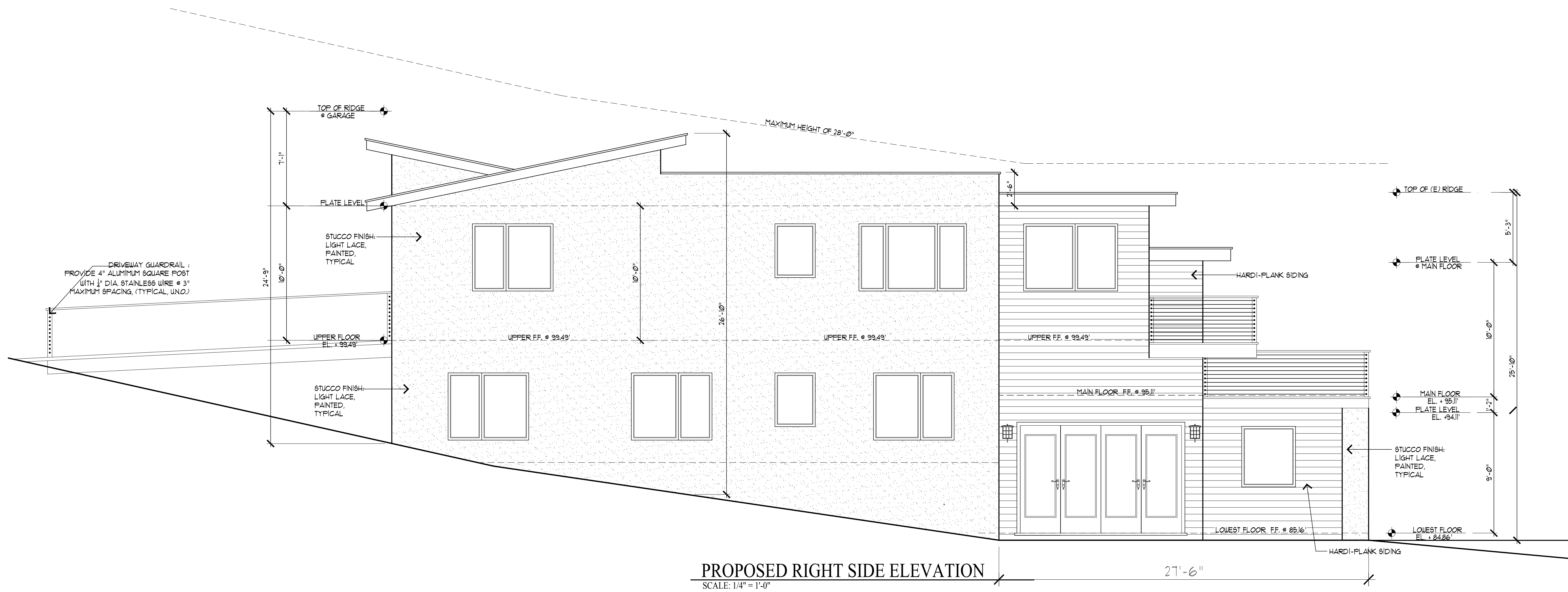


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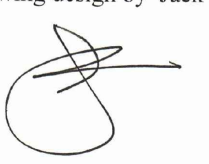
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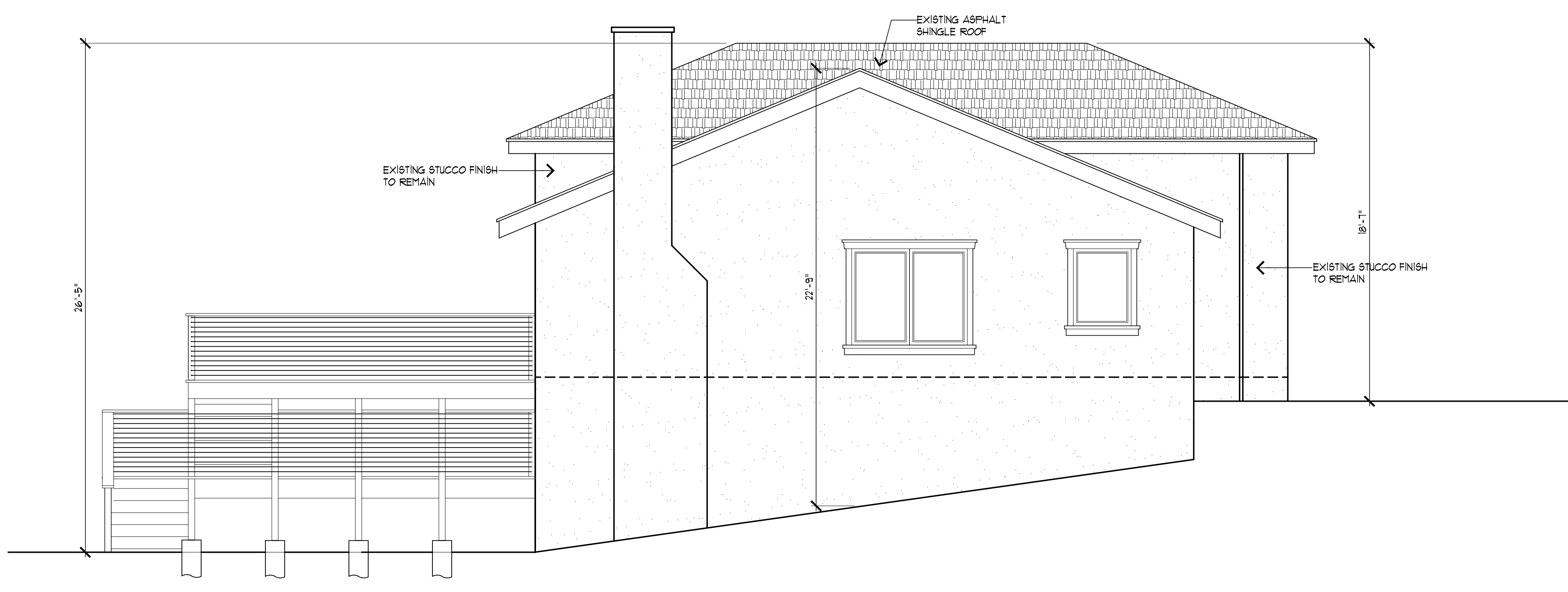
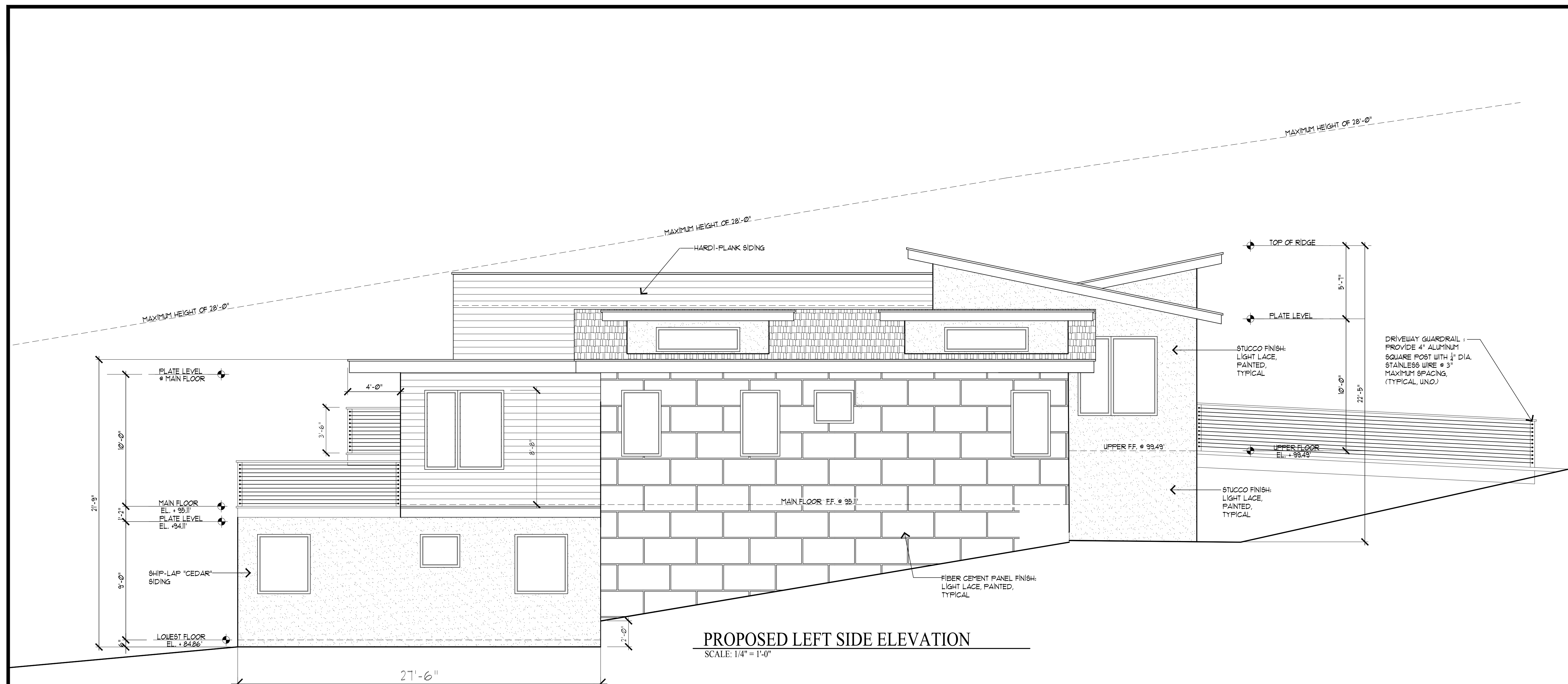
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EXISTING LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Jack Chu DESIGN

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jackchu21@yahoo.com

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Drawing scales as indicated are for reference only and are not intended to accurately depict actual or designed conditions. Written dimensions shall govern.

Drawing design by Jack



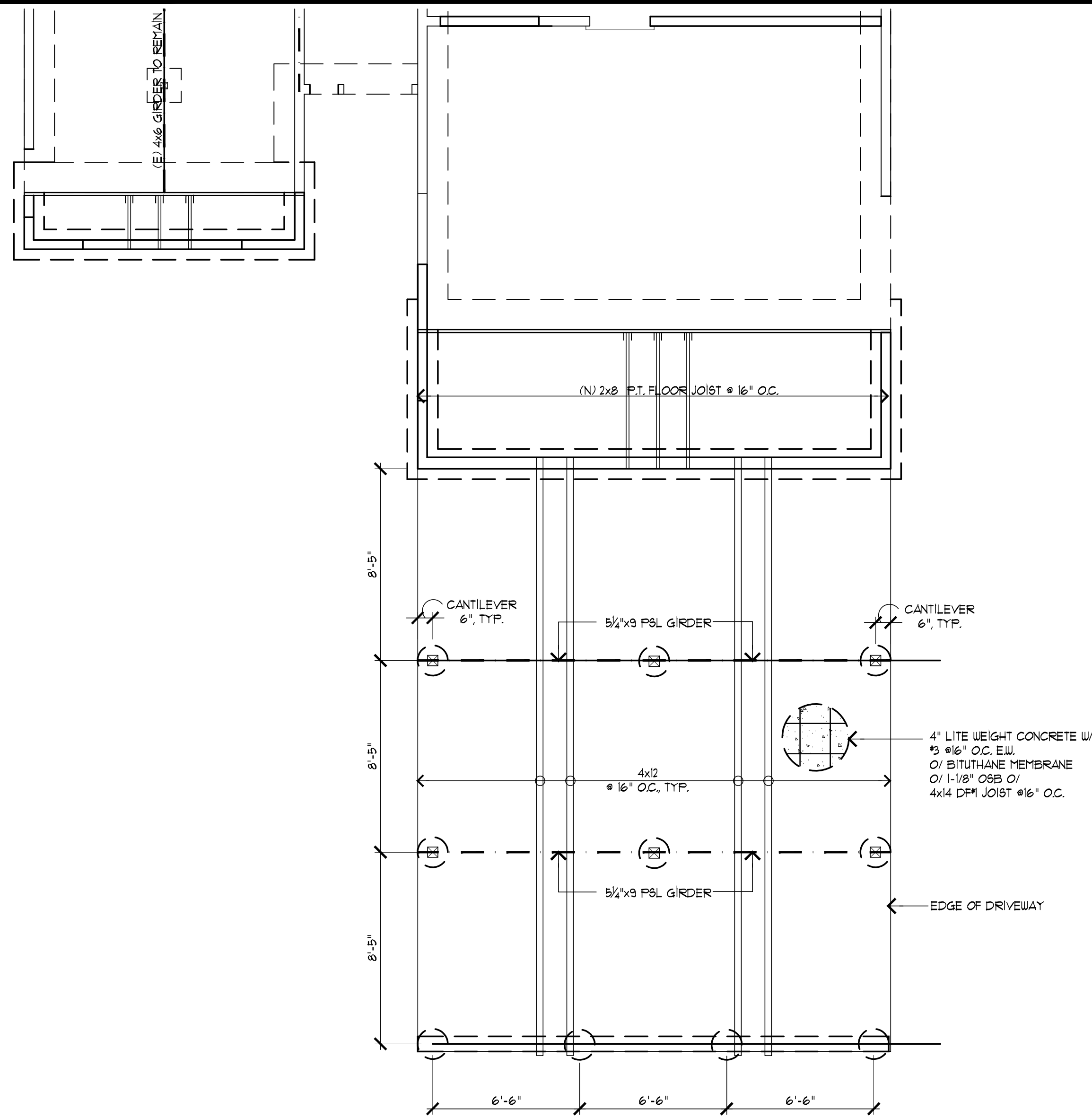
ADDITION & REMODELING
Owner : Mr. Casey Korsak
504 Lakemead Way Emerald Hills, CA 94062
Tel. : 650-393-3433
Email : casey.korsak@wellsfargoadvisors.com

COMMENTS	BY

DATE	APRIL 8, 2022
SCALE	AS NOTED
DRAWN	Jack Chu
CHK	Korsak
SHEET NO.	

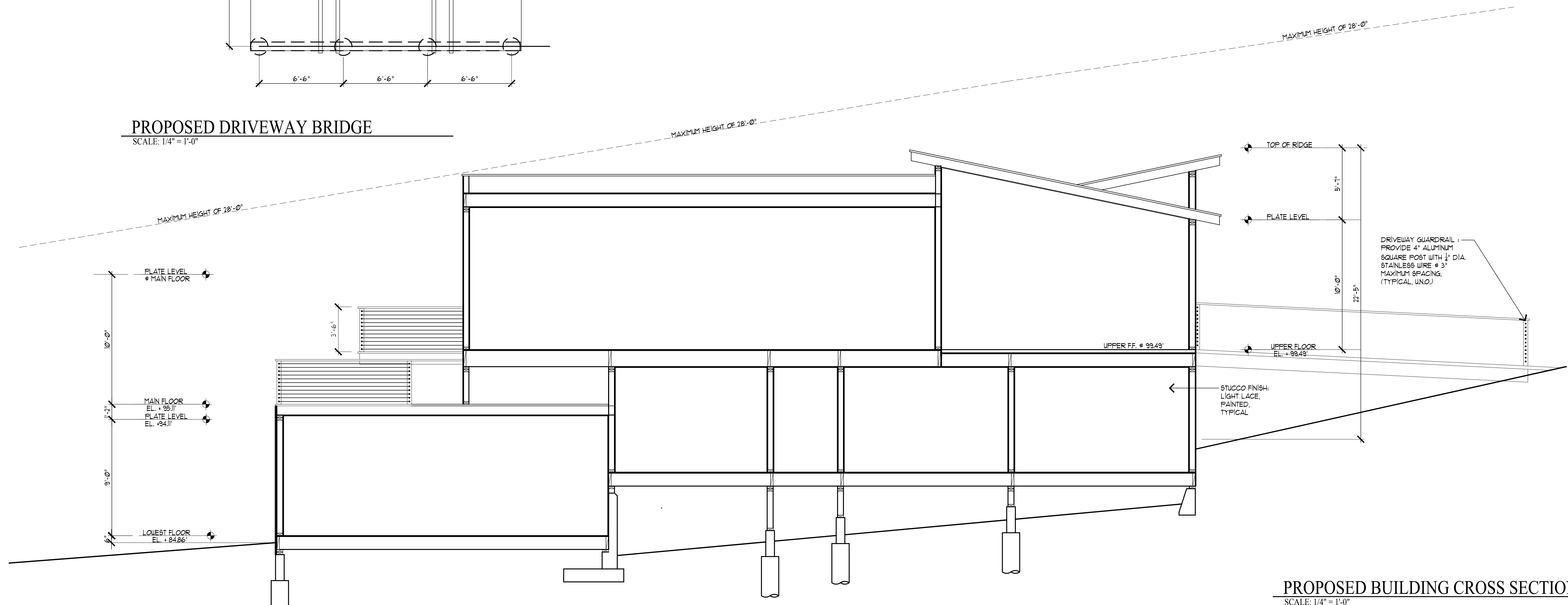
A.9

OF SHEETS



PROPOSED DRIVEWAY BRIDGE

SCALE: 1/4" = 1'-0"



PROPOSED BUILDING CROSS SECTION

SCALE: 1/4" = 1'-0"

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Drawing design by Jack



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Owner : Mr. Casey Korsak
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COMMENTS	BY

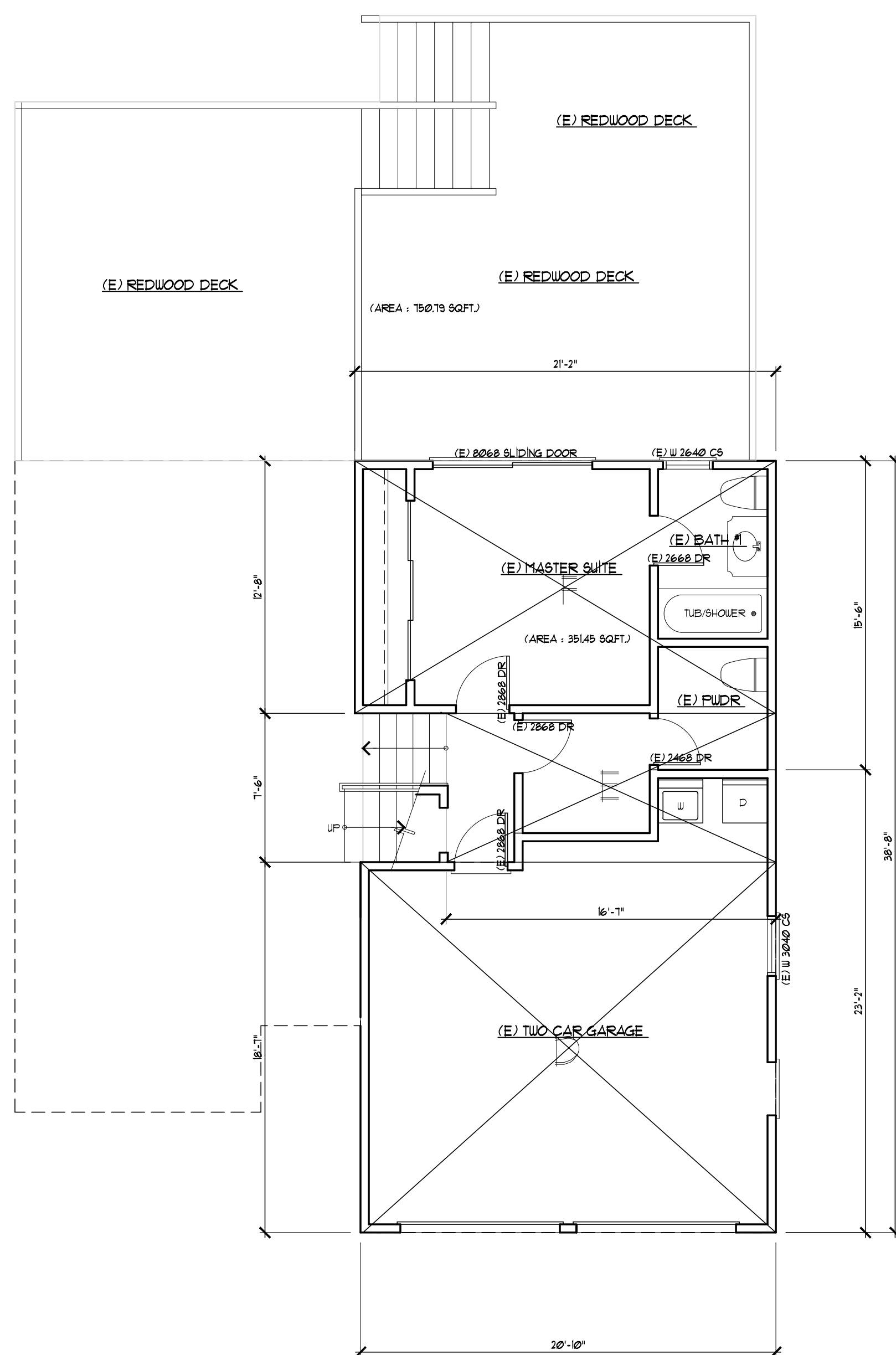
DATE: APRIL 8, 2022
SCALE: AS NOTED
DRAWN: Jack Chu
JOB: Korsak
SHEET NO:

AC.1

EXISTING LOWER FLOOR AREA

- D 20'-10" x 18'-7" = 387.15 SF
- E 16'-7" x 7'-6" = 123.37 SF
- F 21'-2" x 12'-8" = 267.58 SF

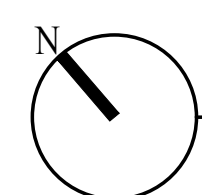
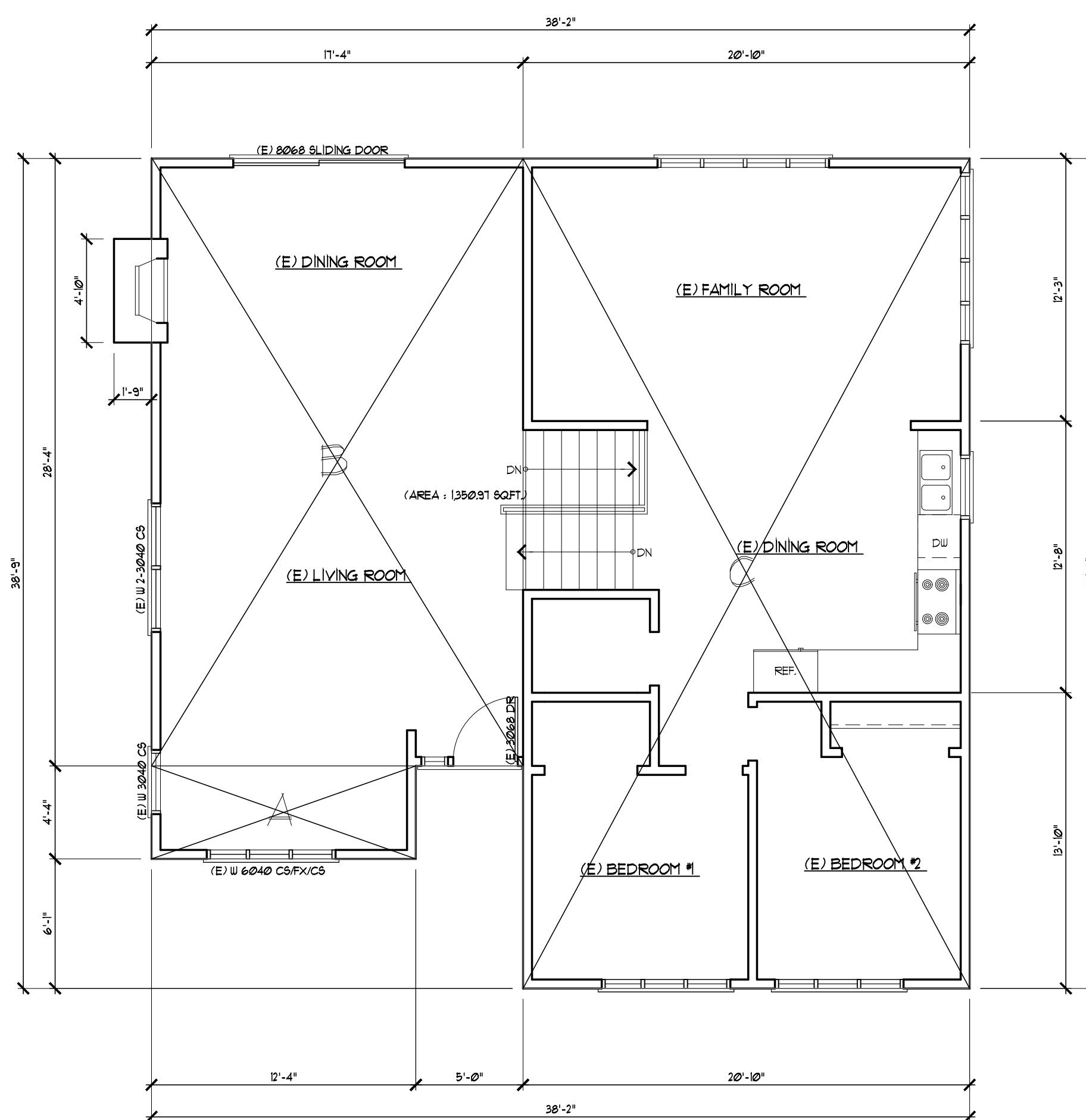
TOTAL EXISTING LOWER FLOOR AREA: 778.10 SF



EXISTING MAIN & UPPER FLOOR AREA

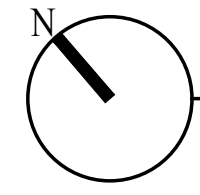
- A 12'-4" x 4'-4" = 53.44 SF
- B 17'-4" x 28'-4" = 491.11 SF
- C 20'-10" x 38'-9" = 807.16 SF
- FIREPLACE 1'-9" x 4'-10" = 7.92 SF

TOTAL EXISTING MAIN/UPPER FLOOR AREA: 1,359.63 SF



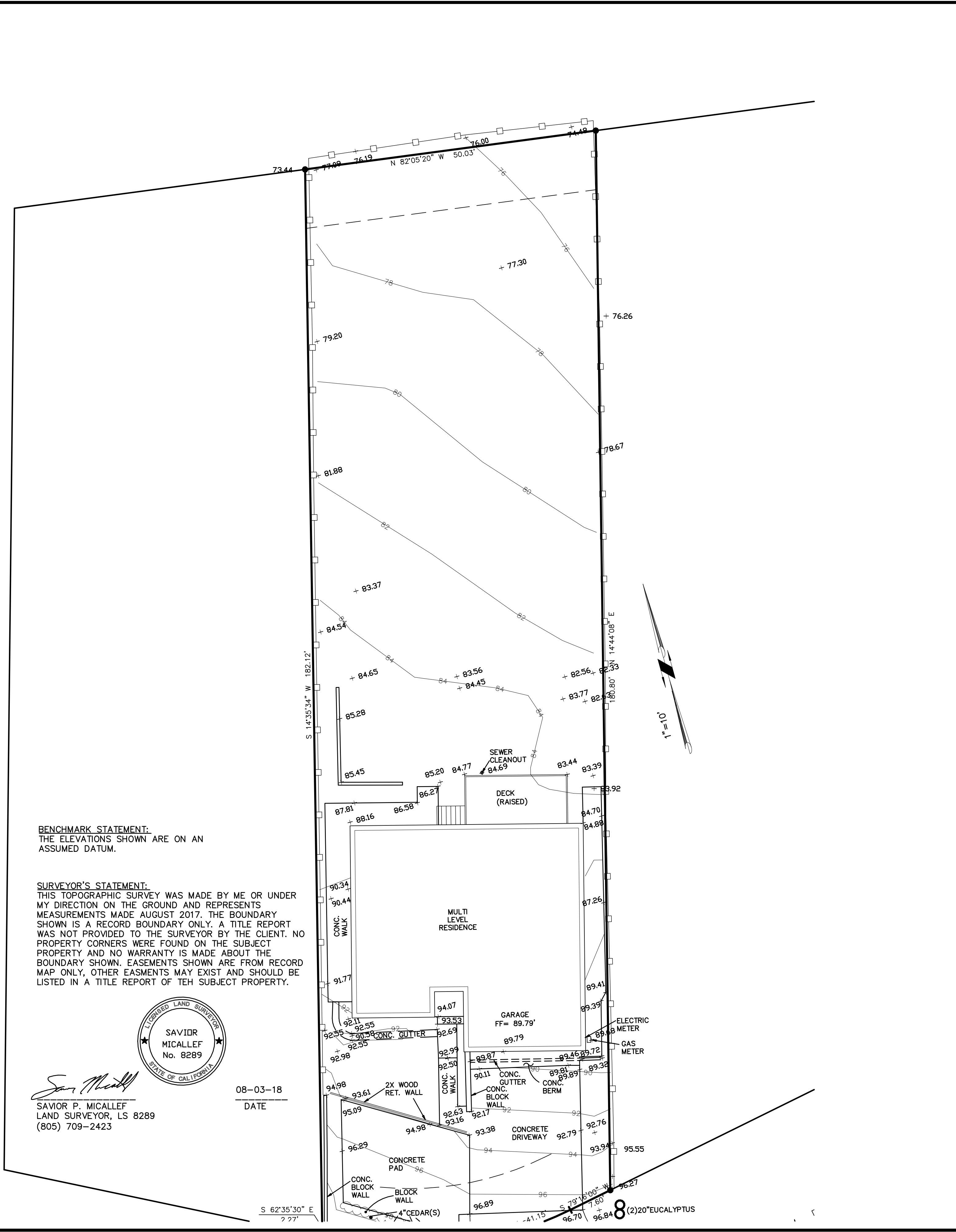
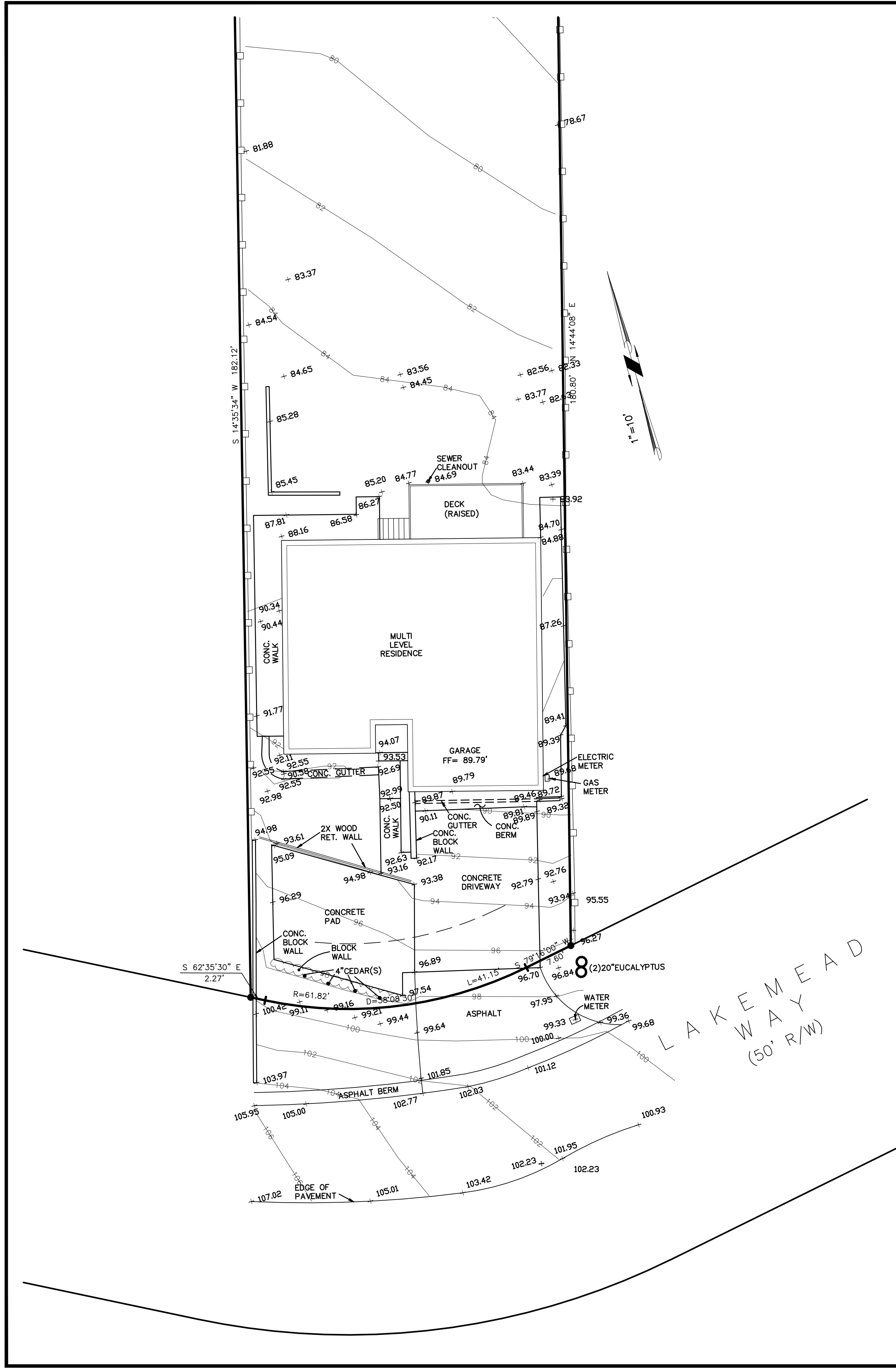
EXISTING LOWER FLOOR PLAN

SCALE: 3/16" = 1'-0"



EXISTING MAIN & UPPER FLOOR PLAN

SCALE: 3/16" = 1'-0"



BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE AUGUST 2017. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. EASEMENTS SHOWN ARE FROM RECORD MAP ONLY, OTHER EASEMENTS MAY EXIST AND SHOULD BE LISTED IN A TITLE REPORT OF THE SUBJECT PROPERTY.



Saviør P. Micallef
SAVIØR P. MICALLEF
LAND SURVEYOR, LS 8289
(805) 709-2423

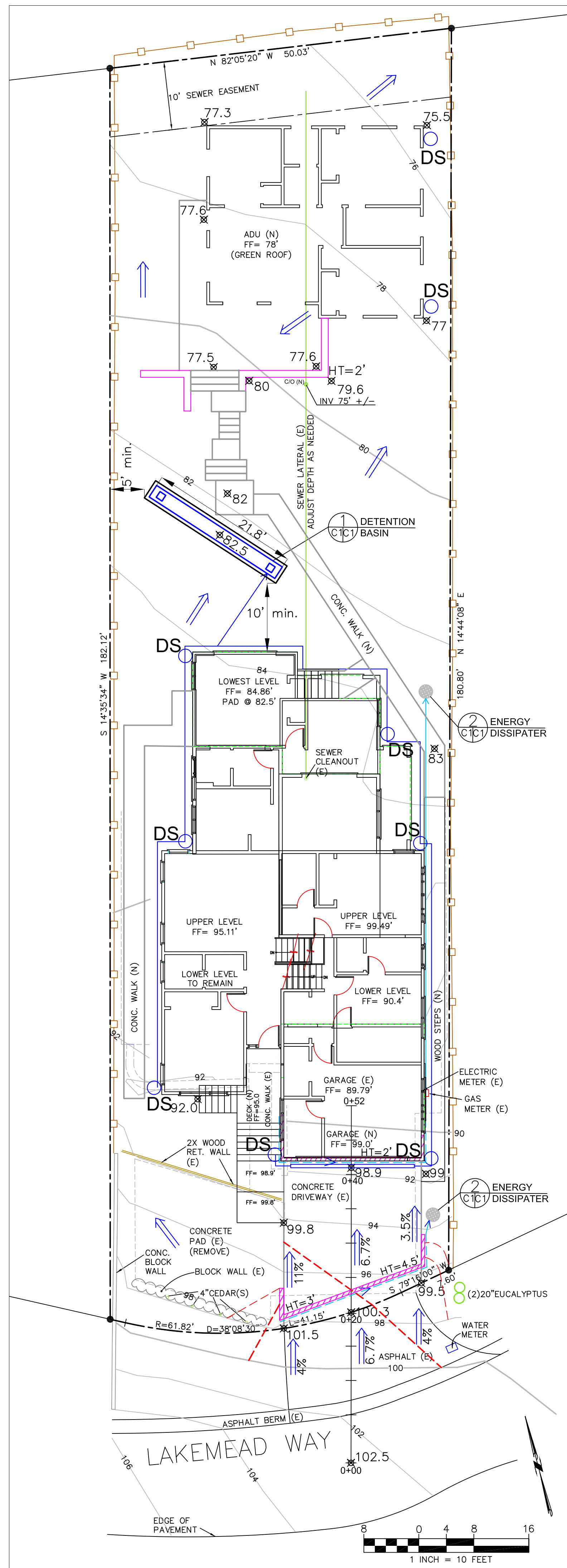
08-03-18
DATE

SAVIØR P. MICALLEF LAND SURVEYING
421 WILDWOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
805/709-2423

TOPOGRAPHIC SURVEY OF
504 LAKEMEAD WAY, REDWOOD CITY, CA
SAN MATEO COUNTY CALIFORNIA

Revisions	No.	Date	Scale	Design	Drawn	Approved	Job No.
	08-03-18	1"=10'	SPM	SPM			

Drawing Number:



LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- ENERGY DISSIPATER - PER DETAIL 2
- DOWNSPOUT
- 4" SOLID DRAIN PIPE
- 4" SOLID PERFORATED PIPE
- RETAINING WALL - PROPOSED

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: CASEY KORSACK, OWNER
2. TOPOGRAPHY BY S. MCALLEE, SURVEYED AUGUST 3, 2018.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY: KORSACK PROPERTY, 504 LAKEMEAD WAY, EMERALD HILLS, CALIFORNIA.** DATE: MAY 2, 2019, BY SIGMA PRIME INC., PROJECT NO. 18-198 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC., WITH THE CONTACT NUMBER (650)-728-3590 (SIGMAPRM@GMAIL.COM). THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND CALL SIGMA PRIME (650-728-3590) TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

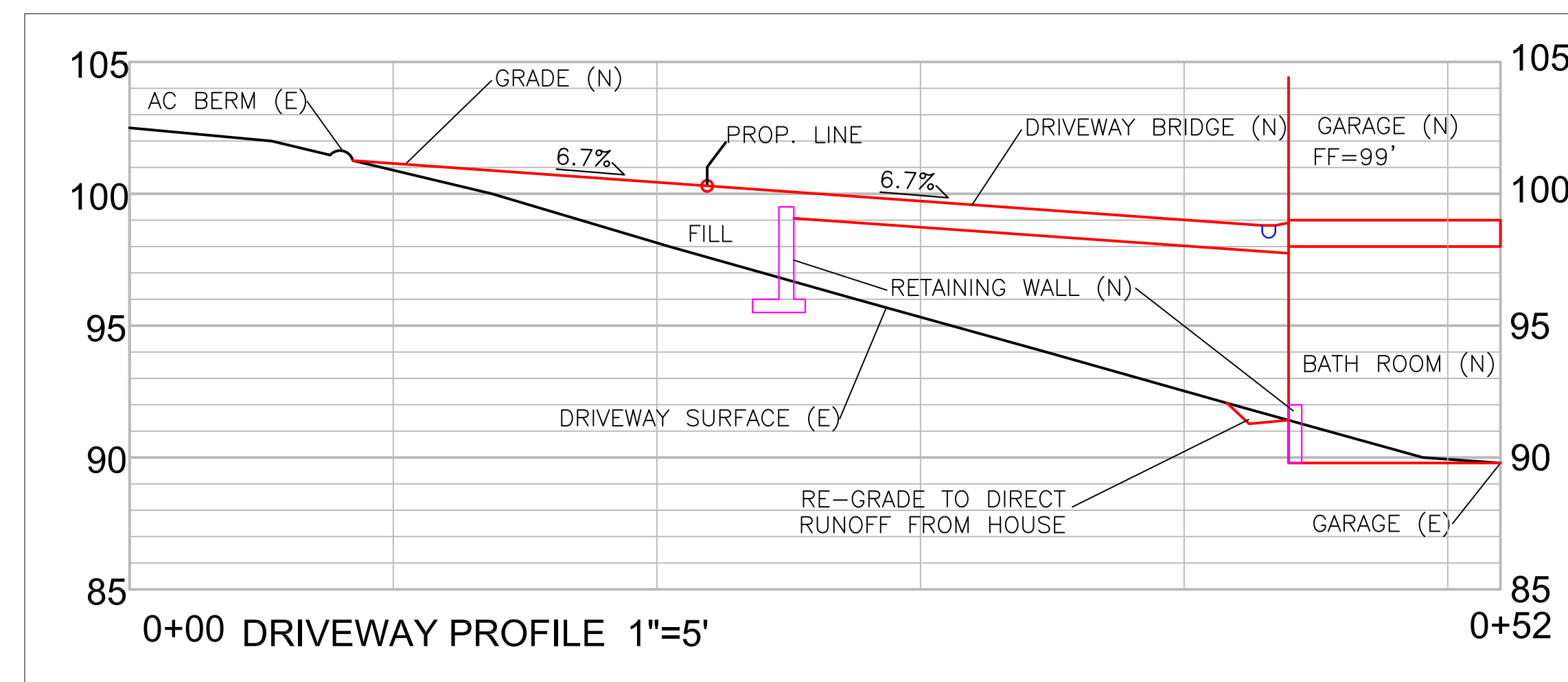
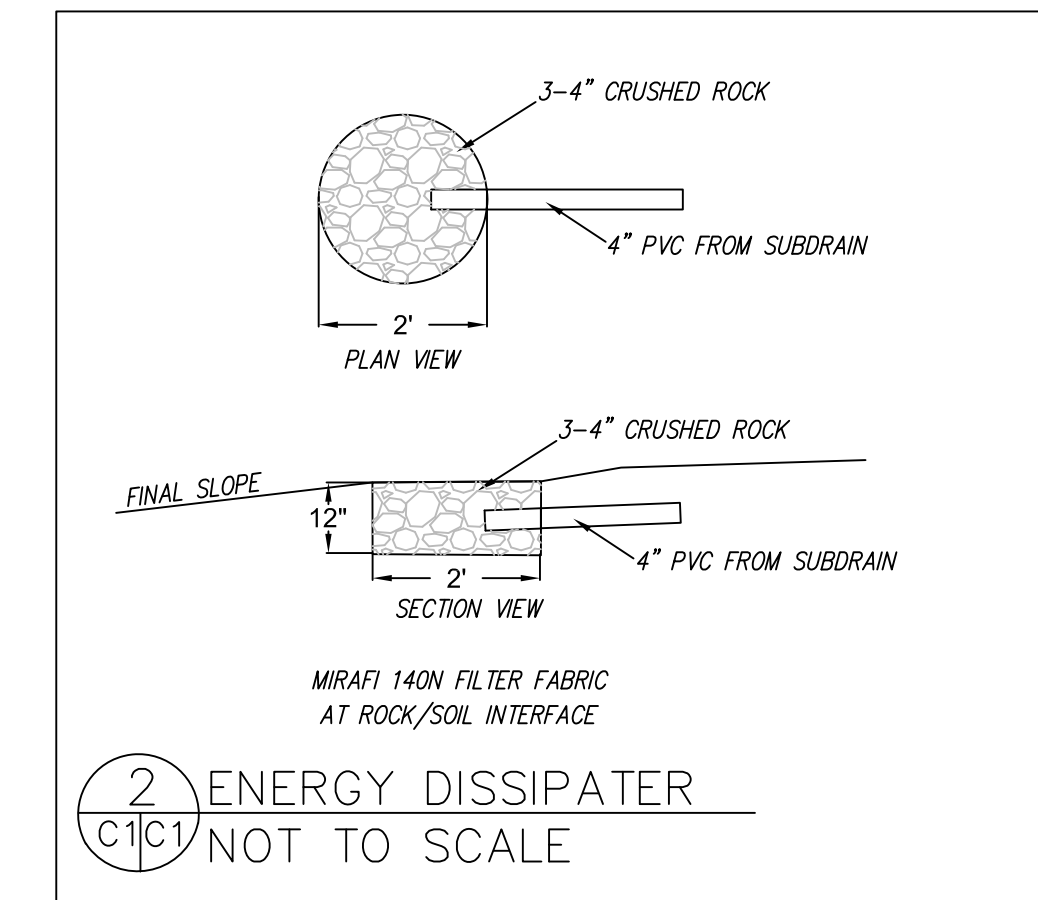
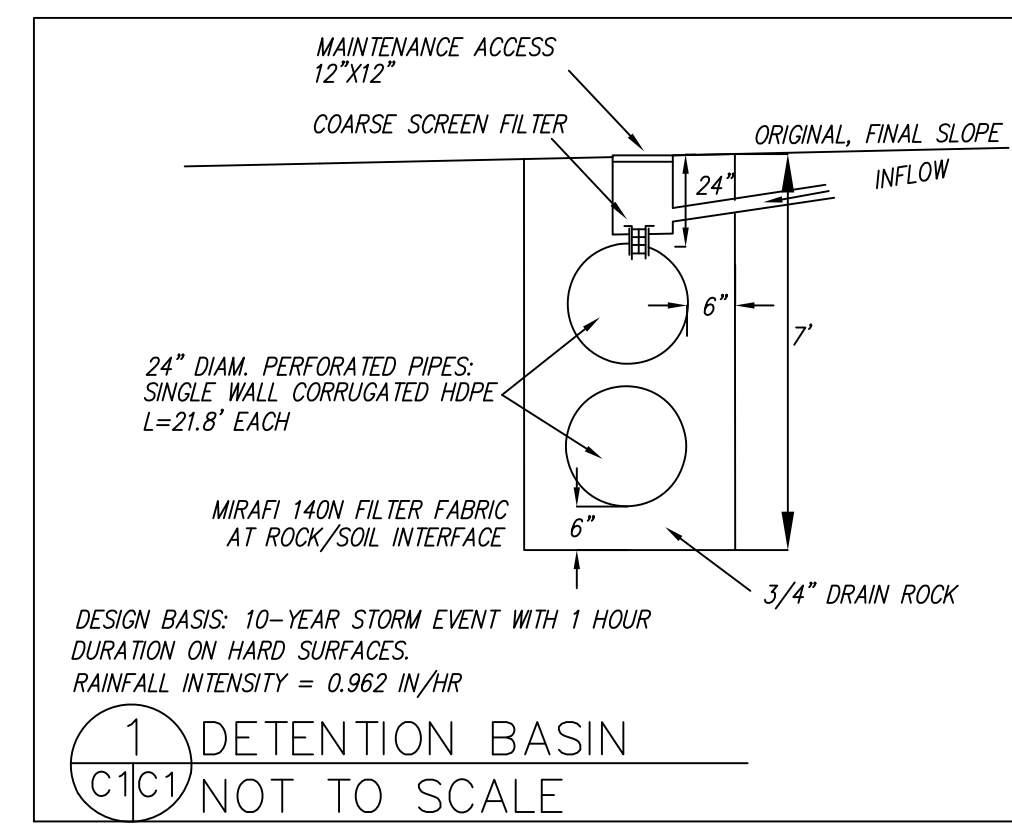
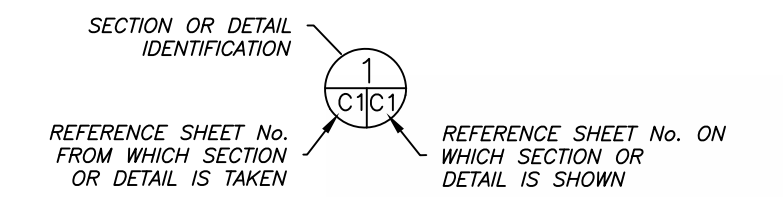
DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. THE ADU WILL HAVE A GREEN ROOF.
3. ALL DOWNSPOUT DRAIN LINES FROM MAIN HOUSE SHALL LEAD TO DETENTION BASIN, AS SHOWN.
4. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
5. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/SUMP PUMP TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

- CUT VOLUME : 70 CY
 FILL VOLUME: 40 CY (30 CY IN R.O.W., FOR DRIVEWAY)
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

SECTION AND DETAIL CONVENTION

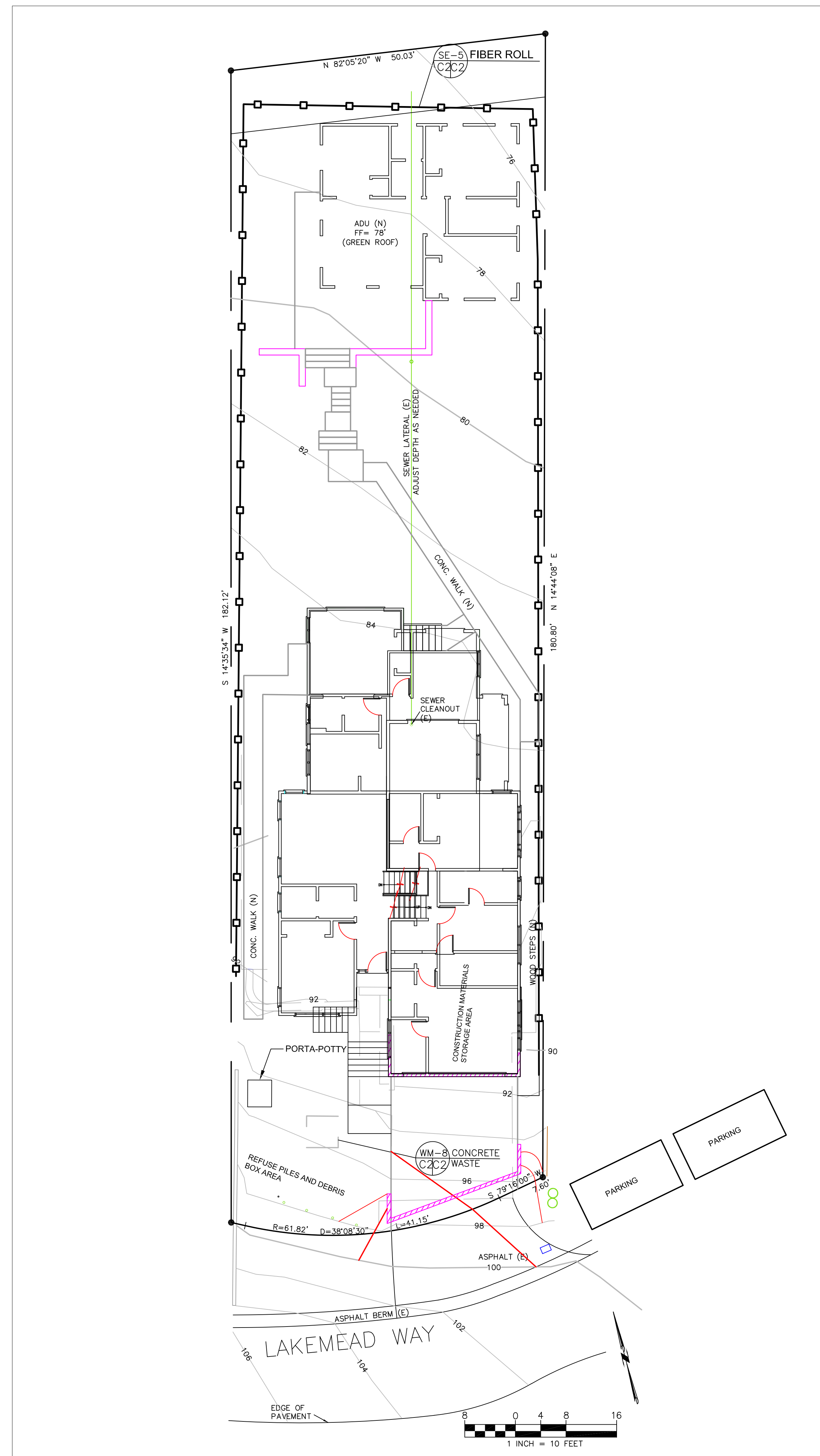


DATE: 4-8-22	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:	REV. DATE:
Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593					

GRADING AND DRAINAGE PLAN

KORSACK PROPERTY
504 LAKEMEAD WAY
EMERALD HILLS
 APN 057-262-200

SHEET
C-1



EROSION CONTROL NOTES

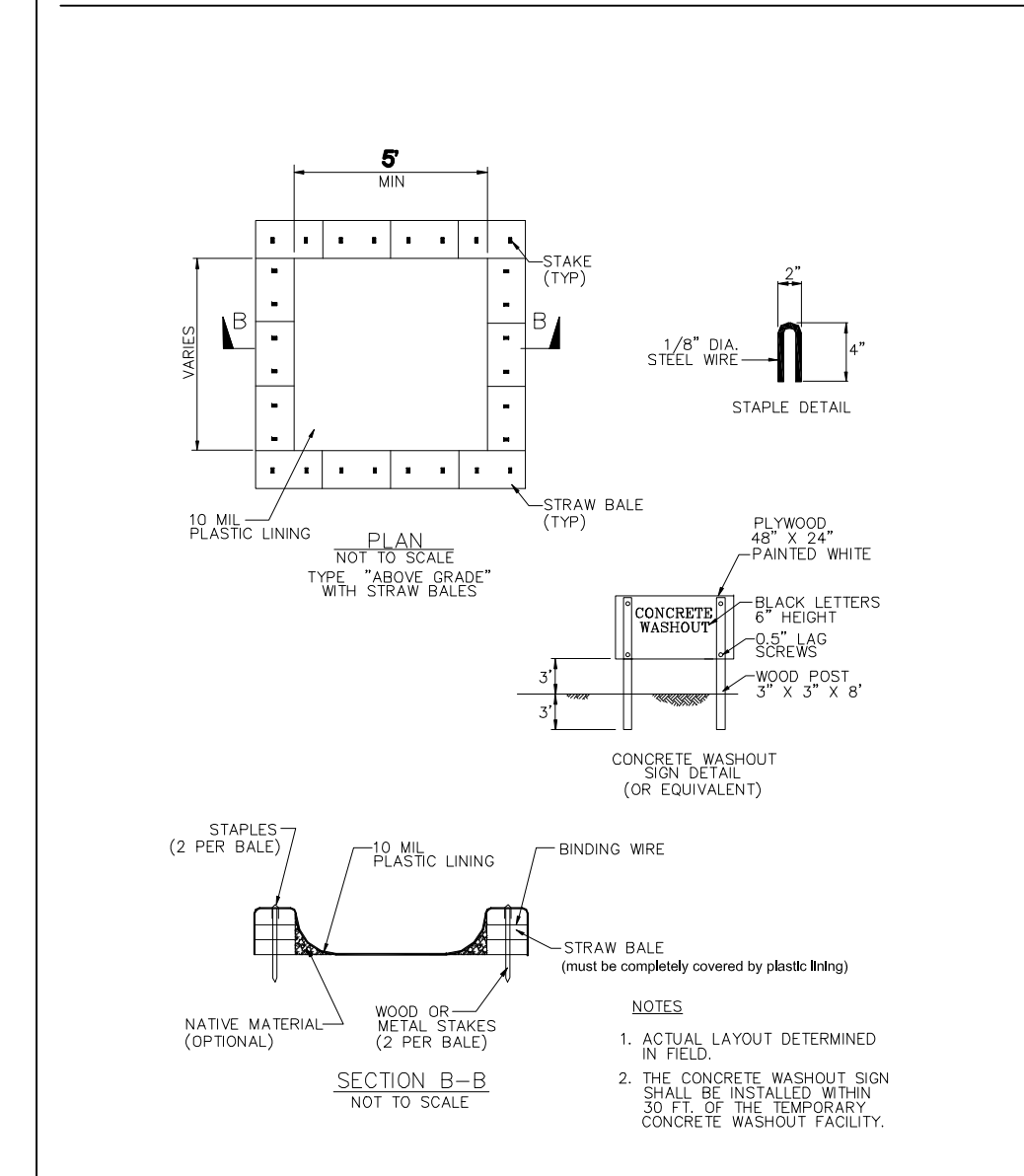
FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE. IF SCHEDULED FOR OFF-HAUL.
5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
6. THERE IS NO ROOM FOR A ROCKED CONSTRUCTION ENTRANCE. THE STEEP NATURE OF THE FRONT OF THE PROPERTY WILL PRECLUDE VEHICULAR TRAFFIC ENTERING AND LEAVING THE SITE, EXCEPT FOR THE EXCAVATOR DOING THE FOUNDATION WORK, WHICH WILL LEAVE THE SITE ONE TIME, AFTER EARTHWORK IS COMPLETED.
7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

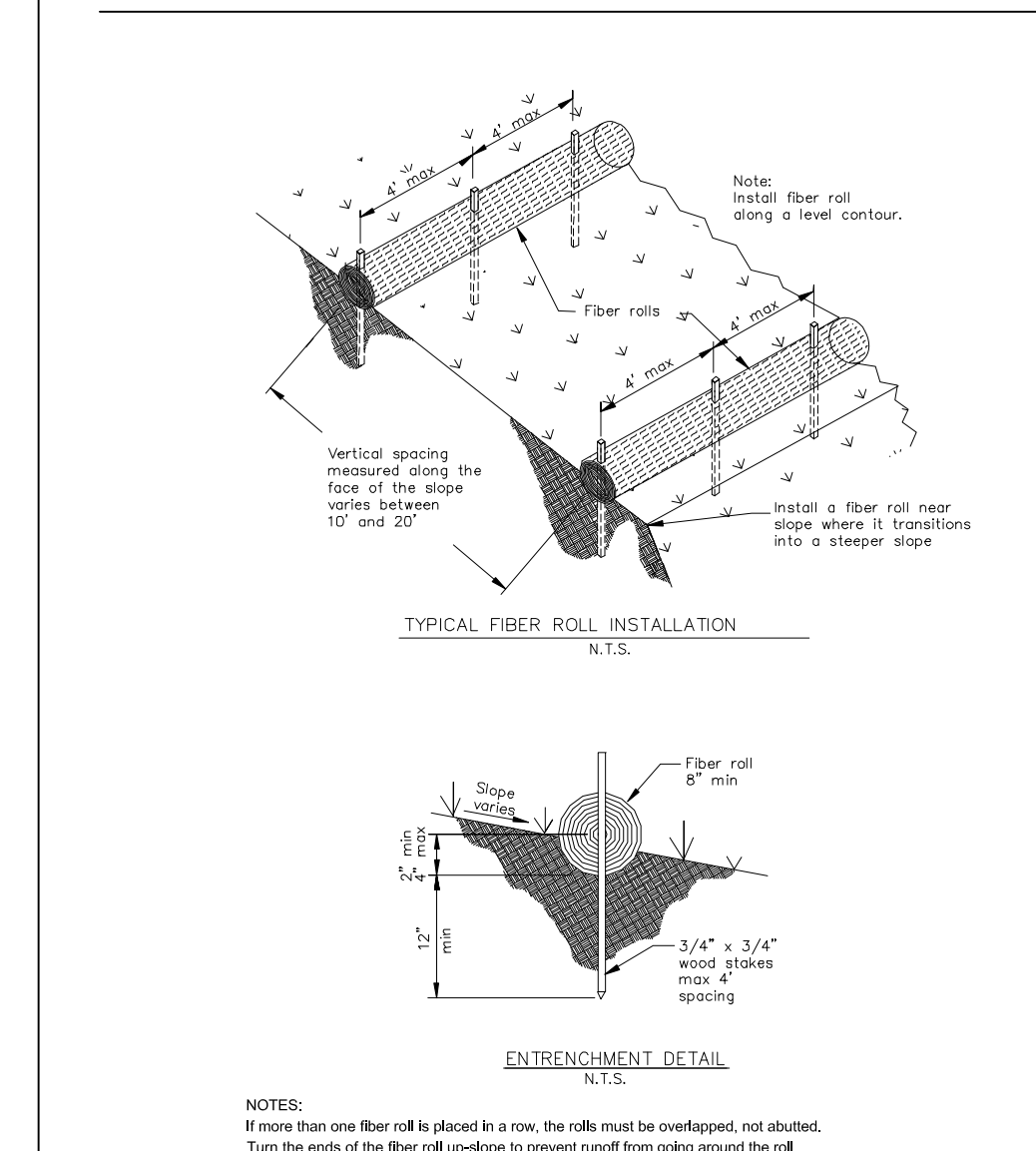
GENERAL EROSION AND SEDIMENT CONTROL NOTES

- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site

CONCRETE WASTE MANAGEMENT WM-8



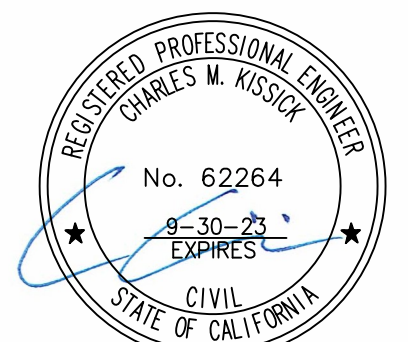
FIBER ROLLS SE-5



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

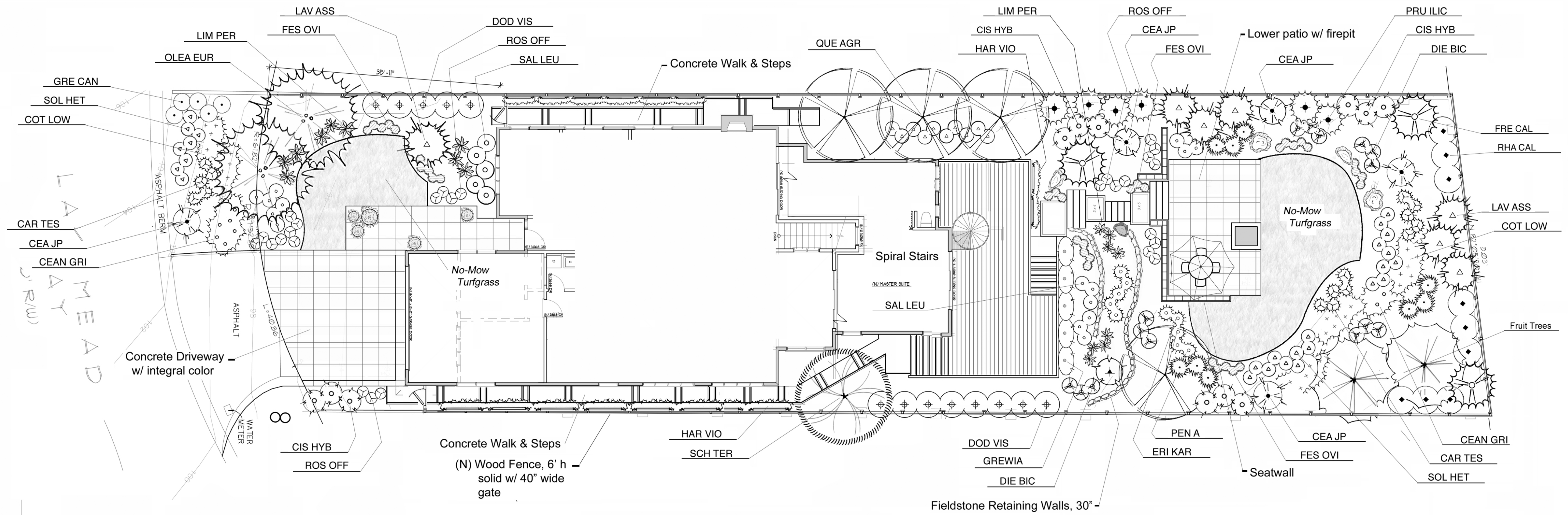
NAME: CASEY KORSAK
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-393-3433
 PHONE:
 E-MAIL: CASEYK33@YAHOO.COM



DATE: 4-8-22	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:	REV. DATE:
Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE BAY, CA 94019 (650) 728-3650 FAX 728-3650					

EROSION AND SEDIMENT CONTROL PLAN
 KORSAK PROPERTY
 504 LAKEMEAD WAY
 EMERALD HILLS
 APN 057-262-200

SHEET
C-2



Landscape Plan
SCALE 1/8" = 1'0"

PLANTING NOTES

1. **CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ADMINISTRATION PRIOR TO EXCAVATION AND GRADING.**
2. **ALL PLANTING AREAS SHALL BE CLEARED OF WEEDS AND OTHER DEBRIS.** THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH EXISTING PLANTS ARE TO REMAIN. EXISTING PLANTS TO BE REMOVED SHALL BE VERIFIED WITH OWNER PRIOR TO REMOVAL. ALL IVY IN PROJECT AREA SHALL BE REMOVED; IVY SHALL BE SPRAYED WITH HERBICIDE TWO WEEKS PRIOR TO REMOVAL.
3. **SOIL TESTING SHALL BE UNDERTAKEN BY THE CONTRACTOR, AND PERFORMED BY A CERTIFIED LABORATORY.** A COPY OF THE REPORT SHALL BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT. RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZATION SHALL REFLECT THE NUTRIENT REQUIREMENTS OF SPECIFIED PLANT SPECIES
4. **SOIL AMENDMENTS SHALL BE FREE OF DEBRIS** SUCH AS LITTER, BROKEN CLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT:
REDWOOD NITRIFIED COMPOST 40%, COARSE SAND 30%, BLACK TOPSOIL 30%.
5. **PLANT HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER** (generally). THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH THE FOLLOWING MIXTURE: 80% TO 20% IMPORTED SOIL TO EXISTING SOIL.
6. **SOIL BERMS SHALL BE FORMED AROUND ALL PLANTS** 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 4" LAYER OF BARK CHIPS, MINIMUM OF 1" IN SIZE. **PLANTING AREAS SHALL BE COVERED WITH A 3" INCH LAYER OF BARK CHIPS.**
7. **ALL PLANTS SHALL BE FERTILIZED.** FERTILIZER SHALL BE COMMERCIALY AVAILABLE TYPE, AGRIFORM OR EQUIVALENT. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. **RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED** BY THE CONTRACTOR. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE PROJECT ARBORIST IN A TIMELY MANNER TO HAVE THE PROJECT ARBORIST PRESENT FOR ALL WORK PERFORMED WITHIN THE DRIP LINE OF PROTECTED TREES. THE CONTRACTOR SHALL ALSO REFER TO THE ARBORIST REPORT FOR EXISTING TREE IDENTIFICATION AND PROTECTION MEASURES.

Plant List

No.	Botanical Name	Common Name	Qty	Size	WI	Remarks
OLEA EUR	Olea europea 'Swan Hill'	Non-fruiting Olive	2	24" Box	L	Evgn Tree
QUE AGR	Quercus agrifolia	California Live Oak	4	24" Box	L	Evgn Tree
SCH TER	Schinus terebinthifolius	Brazilian Pepper	1	15 Gal.	L	Evgn Tree
ALY HUE	Alyogyne huegelii	Blue Hibiscus		5 Gal	L	Evgn Shrub
CAR TES	Carex testacea	Bronze Sedge		5 Gal	L	Perennial Grass
CEA JP	Ceanothus 'Julia Phelps'	California Lilac		5 Gal	L	Evgn Shrub
CIS HYB	Cistus hybridus	Orchid Rockrose		5 Gal	L	Evgn Shrub
DIE BIC	Dietes bicolor	Fortnight Lily		1 Gal	L	Evgn Shrub
DOD VIS	Dodonaea viscosa	Hopseed Bush		5 Gal	L	Evgn Shrub
ERI KAR	Erigeron karvinskianus	Santa Barbara Daisy		1 Gal	L	Perennial
FES OVI	Festuca ovina 'Glauca'	Festuca		1 Gal	L	Perennial Grass
FRE CAL	Fremontodendron californicum	California Flannel Bush		5 Gal	L	Evgn Shrub
GRE CAN	Grevillea 'Canberra'	N C N		5 Gal	L	Evgn Shrub
GREWIA	Grewia occidentalis	Lavender Starflower		15 Gal	M	Espalier
HAR VIO	Hardenbergia violacea	Hardenbergia		15 Gal	M	Espalier
LAV ASS	Lavatera assurgentifolia	Tree Mallow		5 Gal	L	Evgn Shrub
LIM PER	Limonium perezii	Sea Lavender		1 Gal	L	Perennial
PEN A	Pennisetum x advena 'Rubrum'	Red Fountain Grass		1 Gal	L	Accent/ Grass
PRU ILIC	Prunus ilicifolia	Hollyleaf Cherry		5 Gal	L	Evgn Shrub
RHA CAL	Rhamnus californica	Coffeeberry		5 Gal	L	Evgn Shrub
ROS OFF	Rosmarinus officinalis	Rosemary		1 Gal	L	Low Evgn Shrub
SAL LEU	Salvia leucantha	Mexican Bush Sage		5 Gal	L	Low Evgn Shrub
SOL HET	Sollya heterophylla	Australian Bluebells		1 Gal	L	Ev Subshrub
HAR VIO	Hardenbergia violacea	Lilac Vine		15 Gal	L	Espalier Vine
CEAN GRI	Ceanothus griseus 'Horizontalis' 'Prostratus'	Carmel Creeper		1 Gal	L	Groundcover
COT LOW	Cotoneaster 'Lowfast'	Cotoneaster		1 Gal.	L	Groundcover

Note: Contractor shall verify quantities

Bruce A. Chan
Landscape Architect
CA Lic. # 002324
923 Arguello Street, Suite 200
Redwood City, California 94063
Tel (650) 346-7645
Fax (650) 367-8139
Email: bacla@sbglobal.net
Landscape Architecture
Environmental Design
Site Planning



Korsak Residence
Emerald Hills, California
504 Lakemead Way

TITLE
Landscape Plan

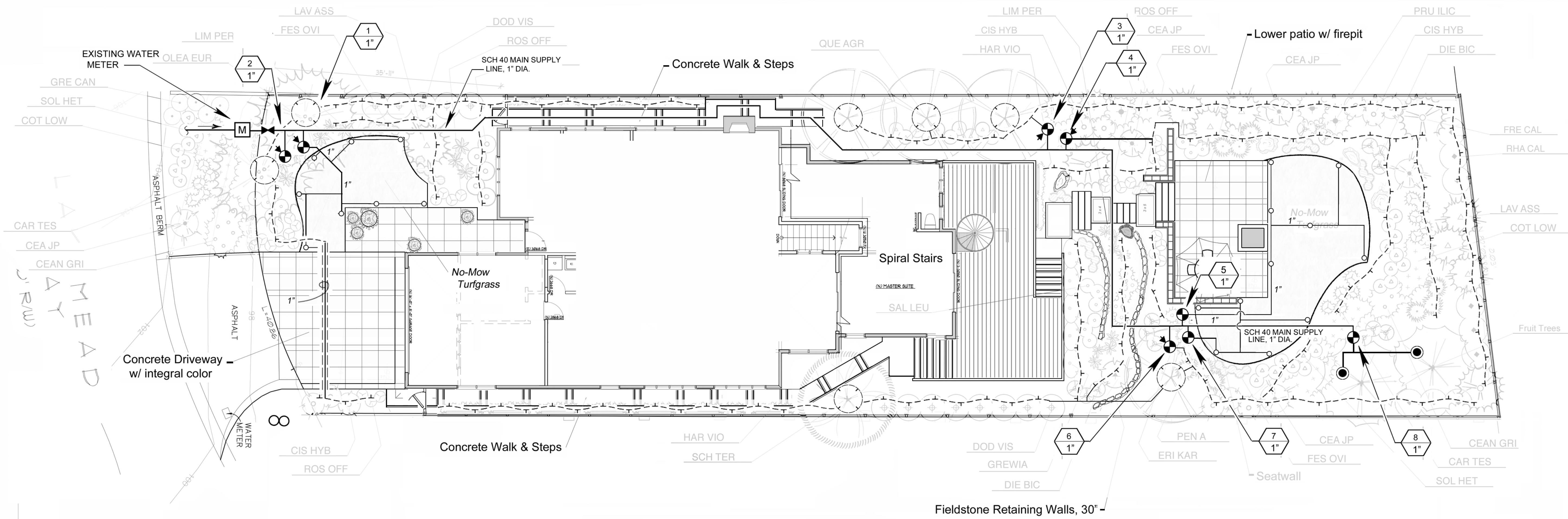
REVISIONS

Date	Notes

PROJECT #:

DATE: 10-28-20

SHEET #:
L 1.1



1 Irrigation Plan
 SCALE 1/8" = 1'0"
 N

IRR PERF NOTES 505

IRRIGATION SYSTEM DESIGN CRITERIA

- AN AUTOMATICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE INSTALLED ACCORDING TO LOCAL ORDINANCES AND BUILDING CODES. THE SYSTEM SHALL CONSIST OF A DUAL PROGRAM CONTROLLER WITH RAIN SWITCH AND WATER BUDGETING FEATURE.
 - AN APPROVED BACKFLOW PREVENTER SHALL BE INSTALLED, IF NECESSARY, PER LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. THE BACKFLOW DEVICE SHALL BE A REDUCED PRESSURE DOUBLE CHECK TYPE INSTALLED IN A LOCKABLE ENCLOSURE. THE BACKFLOW DEVICE SHALL BE LOCATED IN THE VICINITY OF THE WATER METER, IF POSSIBLE.
- 700-OMR-100 SERIES/ LT-T SERIES IRRITROL REMOTE CONTROL VALVE w/ PRESSURE REGULATION/ KBI PVC BALL VALVE
 - DZK-700/ LT-1000-T TORO DRIP ZONE VALVE KIT - INCL REMOTE CONTROL VALVE, WYE FILTER w/ 150 MESH SCREEN AND PRESET PRESSURE REGULATOR/ KBI SCH 80 PVC BALL VALVE
 - 975XL2- 3/4" WILKINS LEAD-FREE REDUCED PRESSURE BACKFLOW PREVENTER
 - RD600-EXT-R IRRITROL AUTOMATIC CONTROLLER, MODEL RD600-EXT-R 6 STATION OUTDOOR WALL MOUNT
 - 4" DIA. SMOOTHWALL PVC PIPE SLEEVE
 - POP-UP SPRINKLER HEAD, 4" PRESSURE COMPENSATING TYPE
 - STREAM BUBBLER
- MAIN SUPPLY LINES SHALL BE PVC SCHEDULE 40, SIZE AS NOTED, BURIED 24" DEEP. LATERAL SUPPLY LINES SHALL BE 3/4" DIA. UNLESS OTHERWISE NOTED, BURIED 18" DEEP. SOAKER PIPE SHALL BE BURIED 10" DEEP.
 - CONTRACTOR SHALL LOCATE UNDERGROUND SERVICES PRIOR TO PERFORMING ANY EXCAVATION.
 - REMOTE CONTROL VALVES SHALL BE 1" WHEN CONNECTED TO MAIN SUPPLY LINES OF SAME SIZE, AND SUPPLY A TOTAL NUMBER OF HEADS NOT TO EXCEED 14 GALLONS PER MINUTE DISCHARGE FOR THE CIRCUIT.
 - A INTEGRATED CHECK VALVE SHALL BE INSTALLED INTO THE LOWEST SPRINKLER HEAD ON EACH CIRCUIT.
 - CONTRACTOR SHALL FLUSH ALL PIPES PRIOR TO INSTALLING SPRINKLER HEADS AND PRESSURE TEST THE MAIN SUPPLY LINE. A THOROUGH CHECK FOR ANY LEAKS SHALL BE PERFORMED. THE ENTIRE SYSTEM SHALL BE CHECKED FOR LEAKS PRIOR TO BACKFILLING OF TRENCHES.
 - FOR DRIP IRRIGATION CIRCUITS, A PRESSURE REDUCING DEVICE AND IN-LINE FILTER SHALL BE INSTALLED. THE END OF THE SUPPLY LINE SHALL BE FURNISHED WITH A BALL VALVE.
 - CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE CLOCK WATERING CYCLE AND DURATION TO PREVENT RUN-OFF. HEADS SHALL BE ADJUSTED SO THAT SPRAY DOES NOT HIT EXISTING TREE TRUNKS.
 - THIS PLAN IS DIAGRAMATIC. THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NECESSARY TO ENSURE PROPER COVERAGE AND WATERING TO EACH PLANT. ADDITIONAL SPRINKLER HEADS OR EMITTERS SHALL BE FURNISHED AT THE CONTRACTOR'S EXPENSE TO ACHIEVE THIS.

WELO Water Budget and Water Use Calculator

Date: 10/28/20						
Project Name: 504 Lakemead Drive Redwood City (Emerald Hills)						
Project Contact: Bruce Chan - Landscape Architect						
Project Contact Email: bacla@sbcglobal.net						
Maximum Applied Water Allowance (MAWA)	Project Type	ETo	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (gal/yr)
		42.8		128	4,396	65,687
MAWA = (ETo) * (0.62) * [(ETAF * LA) + ((1-ETAF) * SLA)].						
Estimated Total Water Use (ETWU)		ETo	(SF * PF) / IE	SLA	ETWU (gal/yr)	
		42.8	1,801	128	51,193	
ETWU = (ETo) * (0.62) * [(PF * SF) / IE] + SLA						
Difference between MAWA and ETWU						14,494
Project meets water budget.						

ETWU Calculation (Regular landscape areas)	Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	Trees & Shrubs	Drip	3,524	0.30	0.81	1,305
	2	No Mow Turf	Spray	744	0.50	0.75	496
	3						-
	4						-
	Landscape area (not including SLA)			4,268			1,801

ETWU Calculation Special Landscape Areas (SLA)	Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE
	Edible planting area	128	1.0	128
	Multi-use and sports field turf area		1.0	-
	Area irrigated with recycled water		1.0	-
	Pool		1.0	-
	Total SLA	128		128

Total Landscape Area (including SLA) from ETWU Calculation	4,396
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TITLE

Irrigation Plan

REVISIONS

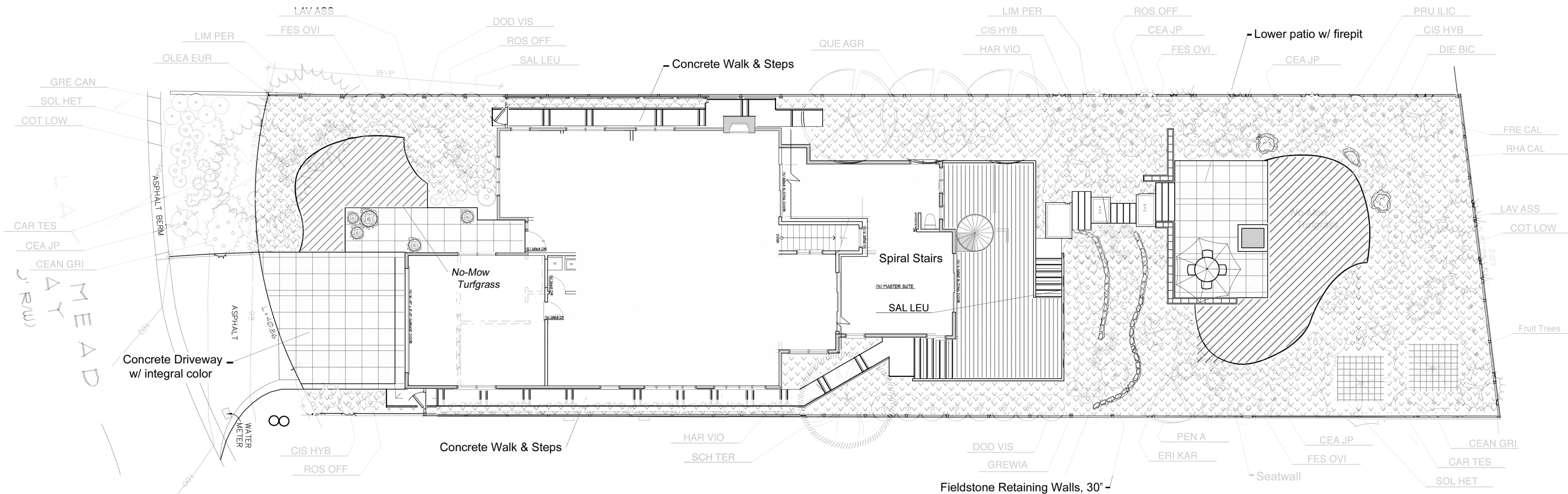
Date	Notes

PROJECT #:

DATE: 10-28-20

SHEET #:

L 2.1



Hydrozone Plan
 SCALE 1/8" = 1'0"

HYDROZONE LEGEND

PLAN SYMBOL	DESCRIPTION	WATER USE	IRRIGATION METHOD	SQ. FT
	HYDROZONE #1	LOW	DRIPLINE	3524 SF
	HYDROZONE #2	MODERATE	HIGH EFFICIENCY OVERHEAD SPRAY	744 SF
	HYDROZONE #3	SPECIAL LANDSCAPE AREA	POINT SOURCE BUBBLER	128 SF

COUNTY OF SAN MATEO
 LANDSCAPE WATER USE STATEMENT

PROJECT NAME: Korsak Residence
PROJECT ADDRESS: 504 Lakemead Way
 Emerald Hills, California

PREPARED BY: BRUCE A. CHAN CA RLA #2324
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"I have complied with the criteria of the ordinance and applied them accordingly for efficient use of water the irrigation design plan."

Signed

Bruce A. Chan
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 Landscape Architecture
 Environmental Design
 Site Planning



Korsak Residence
 Emerald Hills, California
 504 Lakemead Way

TITLE
HYDROZONE PLAN

REVISIONS

Date	Notes

PROJECT #:
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L 3.1