

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: April 7, 2022

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of Use Permit Renewal, pursuant to Section 6512.6 of the Zoning Regulations, to allow the continued operation of an existing wireless telecommunication facility operated by AT&T Mobility. The project site is located within the Alpine Road public right-of-way, adjacent to the Ladera Shopping Center, in the unincorporated Ladera area of San Mateo County.

County File Numbers: PLN 2004-00110 (AT&T Mobility)

PROPOSAL

The project applicant, Kathryn Leal of Epic Wireless, proposes on behalf of AT&T Mobility to renew an existing Use Permit (PLN 2004-00110) to allow the continued operation of a wireless telecommunication facility located within the Alpine Road public right-of-way, adjacent to the Ladera Shopping Center, in the unincorporated Ladera community of San Mateo County. No physical changes are proposed to the facility under this renewal. A separate building permit that involves minor modifications may be filed. The possible minor modifications, which qualifies for Federal preemption under the Middle-Class Tax Relief and Job Creation Act of 2012, that includes removal of two (2) remote radio units (RRUS), installation of two (2) remote radio units, installation of one (1) extensible measurement unit (XMU), and addition of one (1) 6630 unit.

The existing wireless telecommunication facility consist of one (1) monopole of 52 feet and 6 inches in height, with AT&T panel antennas located at 32 feet high (centerline). Associated equipment for the wireless telecommunication facility is located adjacent to the monopole.

RECOMMENDATION

That the Zoning Hearing Officer approve the Use Permit Renewal, County File No. PLN 2004-00110 by making the required findings and adopting the conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Glen Jia, Project Planner; bjia@smcgov.org

Applicant: Kathryn Leal of Epic Wireless for AT&T Mobility

Owner: County of San Mateo (Public Right-of-Way)

Location: Alpine Road public right-of-way, adjacent to the Ladera Shopping Center (3130 Alpine Road)

APN: Adjacent to 077-160-610

Parcel Size: N/A

Existing Zoning: R-1/S-104 (One-Family Residential District/S-104 Combining District)

General Plan Designation: Medium Low Density Residential

Existing Land Use: Wireless Telecommunication Facility

Water Supply: N/A

Sewage Disposal: N/A

Flood Zone: Zone X (Areas of Minimal Flood Hazard); Community Panel No. 06081C0314E; effective date October 16, 2012.

Environmental Evaluation: The project is categorically exempt pursuant to Section 15301, Class 1, of the California Environmental Quality Act (CEQA) Guidelines for the continued operation of existing public or private facilities involving no physical changes or expansion of use.

Setting: The project site is located within the Alpine Road public right-of-way, west of Interstate 280, between La Cuesta and La Mesa Drives, directly adjacent to the Ladera Shopping Center. The facility is within an existing landscaped aisle between Alpine Road and the parking lot for the Ladera Shopping Center. The landscaped aisle consists primarily of hardscape with interspersed low-lying plants, along with interspersed trees. Access to the facility can be obtained from the existing parking area dedicated for the Ladera Shopping Center. The area surrounding the shopping center is zoned for residential use. The existing wireless telecommunication facility consists of one (1) monopole of 52 feet and 6 inches tall with AT&T panel antennas at 32 feet high (centerline). Associated equipment for the wireless telecommunication facility is located adjacent to the monopole.

Chronology:

<u>Date</u>	<u>Action</u>
November 10, 2004	Original Use Permit Granted
August 12, 2021	Received application and payment for use permit renewal for planning application number PLN 2004-00110 (AT&T Mobility).
January 23, 2022	Project deemed complete.
April 7, 2022	Zoning Hearing Officer public hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

The project continues to conform with the applicable General Plan policies for Visual Quality and Land Use as no physical changes to the existing permitted facility are proposed.

2. Conformance with Zoning Regulations

The project site is located within the R-1/S-104 (One-Family Residential District/S-104 Combining District) zoning district. The existing wireless telecommunication facility is operating under PLN 2004-00110 (Use Permit). No physical changes are proposed.

3. Conformance with Wireless Telecommunication Facilities Ordinance

Staff has determined that the project complies with the applicable standards of the Wireless Telecommunication Facilities (WTF) Ordinance, as discussed below:

a. *Development and Design Standards*

Section 6512.2.E – G seeks to minimize and mitigate visual impacts from public views by designing facilities to blend in with the surrounding environment, painting equipment to blend with the surrounding environment and/or buildings and requiring facilities to be constructed of non-reflective materials.

The existing facility blends in with the surrounding environment and is constructed of non-reflective materials. No physical changes to the facility are proposed.

4. Conformance with Use Permit Findings

In order to approve the subject Use Permit Renewal, the Zoning Hearing Officer must make the following findings:

- a. *That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.*

The existing telecommunication facility has been in operation since 2004. The facility will continue to be unmanned and only require monthly maintenance visits to test the equipment. Thus, the continued operation of the existing facility does not generate significant traffic, noise, or intensify the use of the site. No physical changes to the facility are proposed.

- b. *That the telecommunication facilities are necessary for the public health, safety, convenience, or welfare of the community.*

Staff has determined that the continued operation of the existing cellular facility at this location will allow for continued cellular communication coverage for private citizens and businesses. The existing wireless telecommunication facility has been in existence for over ten years. Community members, businesspersons, and residents have come to rely on the coverage provided by these sites to facilitate daily conversation and to provide assistance in emergency situations.

5. Conformance with Conditions of Last Use Permit Approvals

Staff has reviewed the previous Use Permit conditions of approval for Verizon (PLN 2004-00110), last approved March 7, 2013, and have determined AT&T Mobility is in compliance with all previous conditions, see Attachments E. No physical changes are proposed as part of the renewal. Previous conditions that remain relevant, along with new conditions, are included in Attachment A of this staff report.

B. ENVIRONMENTAL REVIEW

The project is categorically exempt pursuant to Section 15301, Class 1, of the CEQA Guidelines for the continued operation of existing public or private facilities involving no alterations or expansion of use as no physical changes are proposed.

C. REVIEWING AGENCIES

San Mateo County Building Inspection Section
San Mateo County Department of Public Works
Coastside Fire Protection District

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Project Plans
- D. Photos of Existing Wireless Telecommunication Facility
- E. PLN 2004-00110 Previous Conditions

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2004-00110

Hearing Date: April 7, 2022

Prepared By: Glen Jia, Project Planner

For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That the project is categorically exempt pursuant to Section 15301, Class 1, of the CEQA Guidelines for the continued operation of existing public or private facilities involving no physical changes and no expansion of use.

Regarding the Use Permit, Find:

2. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of this particular case, be detrimental to the public welfare or injurious to the property or improvements in the said neighborhood because the facility meets current Federal Communications Commission (FCC) standards and has been conditioned to maintain valid FCC and California Public Utilities Commission (CPUC) licenses. The telecommunication facility is located within the Alpine Road public right-of-way, adjacent to the Ladera Shopping Center, in the unincorporated Ladera area of San Mateo County, which minimizes impacts to surrounding properties. With regard to visual impacts, the tower and antennas blend with the surroundings. No significant physical changes to the facility are proposed. Furthermore, the radio frequency emissions compliance report confirms the telecommunication facility does not exceed the Federal Communications Commission (FCC) General Population limits, and thus does not cause any significant impacts on the environment.
3. That the wireless telecommunication facility is necessary for public health, safety, convenience or welfare since it provides cellular coverage in the area for both public and private users who have come to rely on the coverage provided by the facility for daily conversation and to provide assistance in emergency situations.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and materials approved by the Zoning Hearing Officer on April 7, 2022. The Community Development Director may approve minor revisions or modifications to the project if they are consistent with the intent of and in substantial conformance with this approval.
2. This permit shall be valid until April 7, 2032, ten (10) years from the date of approval. Renewal of this permit shall be applied for six (6) months prior to expiration to the Planning and Building Department and shall be accompanied by the renewal application and fees applicable at that time.
3. This use permit shall be for the proposed project only. Any change or change in intensity of use shall require an amendment to the applicable use permit. Amendments to the use permit require an application for amendment, payment of applicable fees, and consideration at a public hearing.
4. If a less visually obtrusive/reduced antenna technology becomes available for use during the life of this project, the applicant shall present a redesign incorporating this technology into the project for review by the Community Development Director and any parties that have expressed an interest.
5. The applicant shall maintain all necessary licenses and registrations from the Federal Communications Commission (FCC) and any other applicable regulatory bodies for the operation of the subject facility at this site. The applicant shall supply the Planning Department with evidence of such licenses and registrations. If any required license is ever revoked, the applicant shall inform the Planning Department of the revocation within ten (10) days of receiving notice of such revocation.
6. This facility and all equipment associated with it shall be removed in its entirety by the applicant within ninety (90) days if the FCC license and registration are revoked or if the facility is abandoned or no longer needed. The owner and/or operator of the facility shall notify the Planning Department upon FCC revocation or applicant abandonment of the facility.
7. There shall be no external lighting associated with this use, except for the equipment cabinet. The wireless telecommunication facility shall not be lighted or marked unless required by the FCC or Federal Aviation Administration (FAA).

Note: Lighting for the equipment cabinet shall be directed to the ground and be the minimum amount required for maintenance purposes. Any change in lighting shall be subject to review and approval by the Planning Department.

8. If technically practical and without creating any interruption in commercial service caused by electronic magnetic interference (EMI), floor space, tower space and/or rack space for equipment in a wireless telecommunication facility shall be made available to the County for public safety communication use.
9. The applicant shall be responsible for painting and/or maintaining the antennas and monopole in the originally approved and painted color. Any proposal to change the color shall be reviewed and approved by the Planning Department prior to painting.
10. Equipment cabinets shall be painted and/or maintained in a green or neutral color to match the surroundings and shall not be reflective. Any proposal to change the color shall be reviewed and approved by the Planning Department prior to painting.
11. The applicant shall not enter into a contract with the landowner or lessee that reserves for one company exclusive use of structures on this site for telecommunication facilities.
12. Operation of the generator for testing purposes shall be conducted between the hours of 8:00 a.m. and 5:00 p.m. The generator shall not be operated for testing purposes for more than 26 hours annually. Operation of the generator during power outages will not count toward the stated annual time limitation.
13. A current permit from the Bay Area Air Quality Management District shall be maintained while the generator operates on the site.

San Mateo County Fire Department

14. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their back-ground and shall be no less than 4 inches in height and have a minimum 1/2-inch stroke. Remote signage shall be a 6-inch by 18-inch green reflective metal sign.
15. Portable fire extinguishers with a minimum rating of 2A-10BC are required to be placed throughout your project. Contact a licensed/certified fire extinguisher company for proper placement of the required extinguishers. Documentation is required on building plans at the building permit application stage. Proper installation is required prior to the San Mateo County Fire Department's final approval of the building permit.

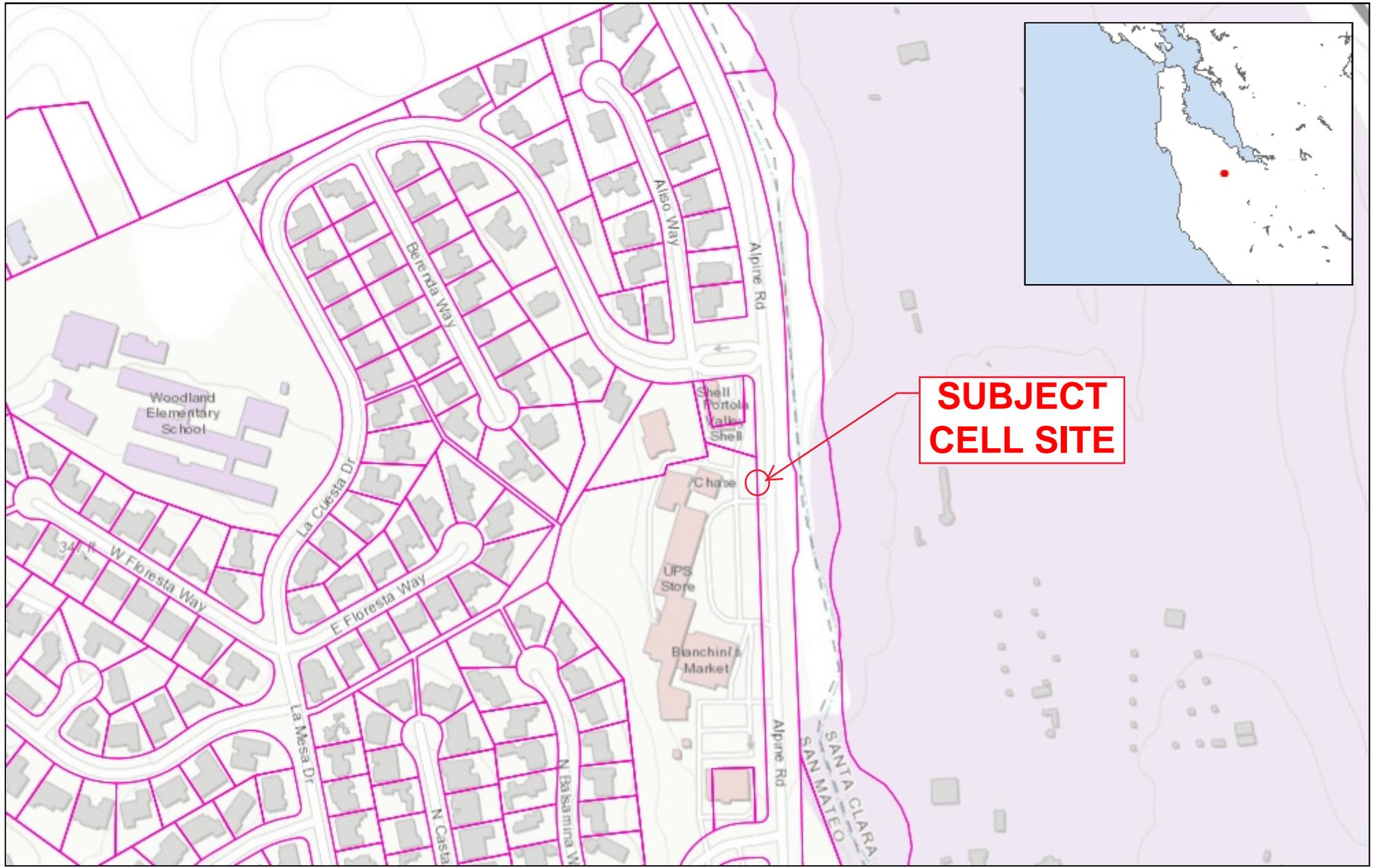
16. The operator shall maintain around and adjacent to such buildings or structures a fuelbreak/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures, or to the property line, if the property line is less than 30 feet from any structure.
17. Due to the limited access to the subject property, the authority having jurisdiction is requiring the installation of a Knox Box, Knox Key Switch, or Knox Padlock to allow rapid response of emergency vehicles onto your property in case of a fire or medical emergency. For an application or further information please contact the San Mateo County Fire Marshal's Office at 650/ 573-3846.

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County of San Mateo - Planning and Building Department

ATTACHMENT B



**SUBJECT
CELL SITE**

0.14 0 0.07 0.14 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:4,514 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



County of San Mateo - Planning and Building Department

ATTACHMENT C

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- CALIFORNIA BUILDING STANDARDS CODE: 2019 TRIENNIAL EDITION OF TITLE 24, WITH AN EFFECTIVE DATE OF JANUARY 1, 2020.
PART 1 - CALIFORNIA ADMINISTRATIVE CODE
PART 2 - CALIFORNIA BUILDING CODE, BASED ON THE 2018 INTERNATIONAL BUILDING CODE
PART 2.5 - CALIFORNIA RESIDENTIAL CODE, BASED ON THE 2018 INTERNATIONAL RESIDENTIAL CODE
PART 3 - CALIFORNIA ELECTRICAL CODE, BASED ON THE 2017 NATIONAL ELECTRICAL CODE
PART 4 - CALIFORNIA MECHANICAL CODE, BASED ON THE 2018 UNIFORM MECHANICAL CODE
PART 5 - CALIFORNIA PLUMBING CODE, BASED ON THE 2018 UNIFORM PLUMBING CODE
PART 6 - CALIFORNIA ENERGY CODE
PART 7 - VACANT
PART 8 - CALIFORNIA HISTORICAL BUILDING CODE
PART 9 - CALIFORNIA FIRE CODE, BASED ON THE 2018 INTERNATIONAL FIRE CODE
PART 10 - CALIFORNIA EXISTING BUILDING CODE, BASED ON THE 2018 INTERNATIONAL EXISTING BUILDING CODE
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (ALSO KNOWN AS CALGREEN)
PART 12 - CALIFORNIA REFERENCED STANDARDS CODE
- ANSI/TIA-222 (REV H)
- 2018 NFPA 101, LIFE SAFETY CODE
- 2019 NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE
- 2019 NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS



SITE NUMBER: CCL05477
SITE NAME: LADERA
SITE TYPE: JPA UTILITY POLE / OUTDOOR EQUIP.
ADDRESS: ALPINE ROAD AND LACUESTA DRIVE
 PORTOLA VALLEY, CA 94028

USID: 26489
 FA#: 10095747
 5G NR 1DR-1
 PTN#: 3701A0TA1K
 PACE#: MRSFR068993

PROJECT DESCRIPTION

MODIFICATION TO AN UNMANNED TELECOMMUNICATIONS FACILITY, CONSISTING OF THE FOLLOWING:

- REMOVE (2) RRUS 12 B2 AT GRADE LEVEL, (1) PER SECTOR (TOTAL-2)
- INSTALL (2) RRUS 4449 B5/B12 AT GRADE LEVEL, (1) PER SECTOR (TOTAL-2)
- INSTALL (1) XMU WITHIN EXISTING PURCELL CABINET
- INSTALL (1) 6630 WITHIN EXISTING PURCELL CABINET

No proposed changes. Drawings for reference to renew use permit 2004-00110

PREPARED FOR



5001 EXECUTIVE PKWY,
SAN RAMON CA 94583

Vendor:



2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

AT&T Site ID:

CCL05477

PROJECT TEAM

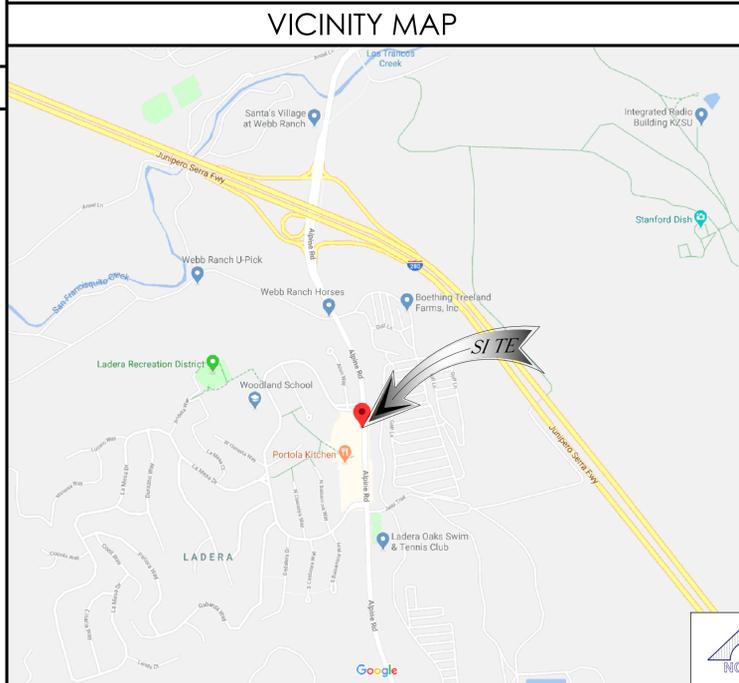
APPLICANT / LESSEE:
 AT&T MOBILITY SERVICES, LLC
 5001 EXECUTIVE PKWY,
 SAN RAMON, CA 94583
 CONTACT: JENNIFER MATHEWS
 Site Acquisition Manager
 EMAIL: jm534@att.com
 PH: (925) 277-6374
 CELL: (310) 740-0691

**PROJECT MANAGER,
 LEASING & ZONING:**
 J5 INFRASTRUCTURE PARTNERS
 2030 MAIN STREET, SUITE 200
 IRVINE, CA 92614
 CONTACT: ALEX ORNER
 EMAIL: AORNER@j5ip.com
 PH: (415) 601.3194

CONSTRUCTION MANAGER:
 AT&T MOBILITY SERVICES, LLC
 5001 EXECUTIVE PKWY,
 SAN RAMON, CA 94583
 CONTACT: DAVID KOCH
 Sr. Specialist-Tech
 EMAIL: dk5751@att.com
 CELL: (925) 353-0172

A&E MANAGER:
 J5 INFRASTRUCTURE PARTNERS
 2030 MAIN STREET, SUITE 200
 IRVINE, CA 92614
 CONTACT: STEVEN M. RAMON
 email: sramon@j5ip.com
 ph: (949) 247-7767 ext 158

RF ENGINEER:
 AT&T MOBILITY SERVICES, LLC
 5001 EXECUTIVE PKWY,
 SAN RAMON, CA 94583
 CONTACT: JOSE PABELONIO
 RAN ENGINEER
 EMAIL: jp5720@att.com
 PH: (949) 344-1628



GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS
 THESE PLANS ARE FORMATTED TO BE FULL SIZE AT 24" X 36". CONTRACTORS SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

STATEMENTS

STRUCTURAL ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THIS DRAWINGS SET. FOR ANALYSIS OF EXISTING AND/OR PROPOSED COMPONENTS, REFER TO STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.

ANTENNA MOUNT ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THIS DRAWING SET. FOR ANALYSIS OF MOUNT TO SUPPORT EXISTING AND/OR PROPOSED COMPONENTS, REFER TO ANTENNA MOUNT STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.

DRIVING DIRECTIONS

DIRECTIONS FROM AT&T OFFICE: 5001 EXECUTIVE PKWY, SAN RAMON CA 94583

- TURN RIGHT ONTO CAMINO RAMON 0.6 MI
- USE THE RIGHT 2 LANES TO TURN RIGHT ONTO BOLLINGER CANYON RD 0.5 MI
- USE THE RIGHT LANE TO MERGE ONTO I-680 S VIA THE RAMP TO SAN JOSE 0.3 MI
- MERGE ONTO I-680 S 4.2 MI
- TAKE EXIT 30B TO MERGE ONTO I-580 W TOWARD DUBLIN/OAKLAND 10.0 MI
- KEEP LEFT AT THE FORK TO CONTINUE ON I-238 N, FOLLOW SIGNS FOR I-880 1.7 MI
- USE THE RIGHT 2 LANES TO TAKE EXIT 16A FOR INTERSTATE 880 S TOWARD SAN JOSE/SAN MATEO BRIDGE 1.0 MI
- MERGE ONTO I-880 S 3.2 MI
- USE THE RIGHT 2 LANES TO TAKE EXIT 27 TO MERGE ONTO CA-92 W TOWARD SAN MATEO BRIDGE/JACKSON ST (TOLL ROAD) 17.8 MI
- USE THE RIGHT 2 LANES TO TAKE EXIT 8 TOWARD SAN JOSE 0.8 MI
- MERGE ONTO I-280 S 10.6 MI
- TAKE EXIT 22 FOR ALPINE RD 0.3 MI
- KEEP RIGHT AT THE FORK, FOLLOW SIGNS FOR PORTOLA VALLEY AND MERGE ONTO ALPINE RD 200 FT
- MERGE ONTO ALPINE RD 37 S (0.4 MI)
- LA CUESTA DR & ALPINE RD



SHEET INDEX

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GN-1	3
A-1	3
A-2	3
A-3	3
A-3.1	3
A-4	3
A-5	3
D-1	3
RF-1	3
TCP-1	3
G-1	3
G-2	3
SS-1	3

SITE INFORMATION

PROPERTY OWNER:
 SAN MATEO COUNTY

JURISDICTION: SAN MATEO COUNTY
A.P.N.: RIGHT OF WAY
CURRENT ZONING: -
EXISTING USE: MULTIUSE
PROPOSED USE: MULTIUSE, COMMUNICATIONS FACILITY
LATITUDE (NAD 83): 37.4024339
 37° 24' 8.76204" N
LONGITUDE (NAD 83): -122.1927439
 122° 11' 33.87804" W

ACCESSIBILITY REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. ACCESSIBILITY IS NOT REQUIRED PER CBC2019, SECTION 11B-203.4 (LIMITED ACCESS SPACE)

POWER AGENCY: PG&E
 PH: (800) 743-5000
TELEPHONE AGENCY: AT&T

RFDS VERSION: 4.00
DATE: 12/31/2019
DATE UPDATED: 11/24/2020



It is a violation of law for any persons, unless they are acting under the direction of a licensed professional engineer, to alter this document

Issued For:
CCL05477
 LADERA
 ALPINE ROAD AND
 LACUESTA DRIVE
 PORTOLA VALLEY, CA
 94028

Sheet Title:
TITLE SHEET

Sheet Number:
T-1

GENERAL CONSTRUCTION NOTES:

- PLANS ARE INTENDED TO BE DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONTACT USA (UNDERGROUND SERVICE ALERT) AT (800) 227-2600, FOR UTILITY LOCATIONS, 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION, SITE WORK OR CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CBC / UBC'S REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE, FOR, BUT NOT LIMITED TO, PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS, AND MECHANICAL EQUIPMENT. ALL WORK MUST COMPLY WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
- REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT / ENGINEER.
- THE BUILDING DEPARTMENT ISSUING THE PERMITS SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK, OR AS OTHERWISE STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
- DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT / ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT / ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT / ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
- ANY DRAIN AND/OR FIELD TILE ENCOUNTERED / DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT / ENGINEER AT COMPLETION OF PROJECT.
- ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
- INCLUDE MISC. ITEMS PER AT&T SPECIFICATIONS

A.B.
ABV.
ACCA
ADD'L
A.F.F.
A.F.G.
ALUM.
ALT.
ANT.
APPRX.
ARCH.
AWG.
BLDG.
BLK.
BLKG.
BM.
B.N.
BTCW.
B.O.F.
B/U
CAB.
CANT.
C.I.P.
CLG.
CLR.
COL.
CONC.
CONN.
CONST.
CONT.
d
DBL.
DEPT.
D.F.
DIA.
DIAG.
DIM.
DWG.
DWL.
EA.
EL.
ELEC.
ELEV.
EMT.
E.N.
ENG.
EQ.
EXP.
EXST.(E)
EXT.
FAB.
F.F.
F.G.
FIN.
FLR.

ANCHOR BOLT
ABOVE
ANTENNA CABLE COVER ASSEMBLY
ADDITIONAL
ABOVE FINISHED FLOOR
ABOVE FINISHED GRADE
ALUMINUM
ALTERNATE
ANTENNA
APPROXIMATE(LY)
ARCHITECT(URAL)
AMERICAN WIRE GAUGE
BUILDING
BLOCK
BLOCKING
BEAM
BOUNDARY NAILING
BARE TINNED COPPER WIRE
BOTTOM OF FOOTING
BACK-UP CABINET
CABINET
CANTILEVER(ED)
CAST IN PLACE
CEILING
CLEAR
COLUMN
CONCRETE
CONNECTION(OR)
CONSTRUCTION
CONTINUOUS
PENNY (NAILS)
DOUBLE
DEPARTMENT
DOUGLAS FIR
DIAMETER
DIAGONAL
DIMENSION
DRAWING(S)
DOWEL(S)
EACH
ELEVATION
ELECTRICAL
ELEVATOR
ELECTRICAL METALLIC TUBING
EDGE NAIL
ENGINEER
EQUAL
EXPANSION
EXISTING
EXTERIOR
FABRICATION(OR)
FINISH FLOOR
FINISH GRADE
FINISH(ED)
FLOOR

FDN.
F.O.C.
F.O.M.
F.O.S.
F.O.W.
F.S.
FT.(')
FTG.
G.
GA.
GI.
G.F.I.
INTERRUPTER
GLB. (GLU-LAM)
GPS
GRND.
HDR.
HGR.
HT.
ICGB.
IN. (")
INT.
LB.(#)
L.B.
L.F.
L.
MAS.
MAX.
M.B.
MECH.
MFR.
MIN.
MISC.
MTL.
(N)
NO.(#)
N.T.S.
O.C.
OPNG.
P/C
PCS
SERVICES
PLY.
PPC
PRC
P.S.F.
P.S.I.
P.T.
PWR.
QTY.
RAD.(R)
REF.
REINF.
REQ'D/
RGS.

ABBREVIATIONS:

FOUNDATION
FACE OF CONCRETE
FACE OF MASONRY
FACE OF STUD
FACE OF WALL
FINISH SURFACE
FOOT (FEET)
FOOTING
GROWTH (CABINET)
GAUGE
GALVANIZE(D)
GROUND FAULT CIRCUIT
GLUE LAMINATED BEAM
GLOBAL POSITIONING SYSTEM
GROUND
HEADER
HANGER
HEIGHT
ISOLATED COPPER GROUND BUS
INCH(ES)
INTERIOR
POUND(S)
LAG BOLTS
LINEAR FEET (FOOT)
LONG(ITUDINAL)
MASONRY
MAXIMUM
MACHINE BOLT
MECHANICAL
MANUFACTURER
MINIMUM
MISCELLANEOUS
METAL
NEW
NUMBER
NOT TO SCALE
ON CENTER
OPENING
PRECAST CONCRETE
PERSONAL COMMUNICATION
PLYWOOD
POWER PROTECTION CABINET
PRIMARY RADIO CABINET
POUNDS PER SQUARE FOOT
POUNDS PER SQUARE INCH
PRESSURE TREATED
POWER (CABINET)
QUANTITY
RADIUS
REFERENCE
REINFORCEMENT(ING)
REQUIRED
RIGID GALVANIZED STEEL

SCH.
SHT.
SIM.
SPEC.
SQ.
S.S.
STD.
STL.
STRUC.
TEMP.
THK.
T.N.
T.O.A.
T.O.C.
T.O.F.
T.O.P.
T.O.S.
T.O.W.
TYP.
U.G.
U.L.
U.N.O.
V.I.F.
W
w/
WD.
W.P.
WT.
Ⓢ
Ⓡ
SCHEDULE
SHEET
SIMILAR
SPECIFICATIONS
SQUARE
STAINLESS STEEL
STANDARD
STEEL
STRUCTURAL
TEMPORARY
THICK(NESS)
TOE NAIL
TOP OF ANTENNA
TOP OF CURB
TOP OF FOUNDATION
TOP OF PLATE (PARAPET)
TOP OF STEEL
TOP OF WALL
TYPICAL
UNDER GROUND
UNDERWRITERS LABORATORY
UNLESS NOTED OTHERWISE
VERIFY IN FIELD
WIDE (WIDTH)
WITH
WOOD
WEATHERPROOF
WEIGHT
CENTERLINE
PLATE, PROPERTY LINE

APPLICABLE CODES, REGULATIONS AND STANDARDS:

- SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION.
- THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.
- SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:
 - AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
 - TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES
 - INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRICAL EQUIPMENT.
 - IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")
 - TIA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS TELCORDIA GR-63 NETWORK
 - EQUIPMENT-BUILDING SYSTEM (NEBS): PHYSICAL PROTECTION
 - TELCORDIA GR-347 CENTRAL OFFICE POWER WIRING
 - TELCORDIA GR-1275 GENERAL INSTALLATION REQUIREMENTS
 - TELCORDIA GR-1503 COAXIAL CABLE CONNECTIONS
 - ANY AND ALL OTHER LOCAL & STATE LAWS AND REGULATIONS
 - FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

SYMBOLS LEGEND:



PREPARED FOR



5001 EXECUTIVE PKWY,
SAN RAMON CA 94583

Vendor:



2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

AT&T Site ID:

CCL05477

REV	DATE	DESCRIPTION	INT.
3	12/04/20	100% CD REVISION	JY
2	8/11/20	STRUCTURAL MODIFICATION REVISIONS	JF
1	7/28/20	100% CD - TCP	MM3
0	7/16/20	100% CD	SMR

Licensor:



SIGNED: 2020/12/08
EXPIRES: 2021/03/31

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LADERA
ALPINE ROAD AND
LACUESTA DRIVE
PORTOLA VALLEY, CA
94028

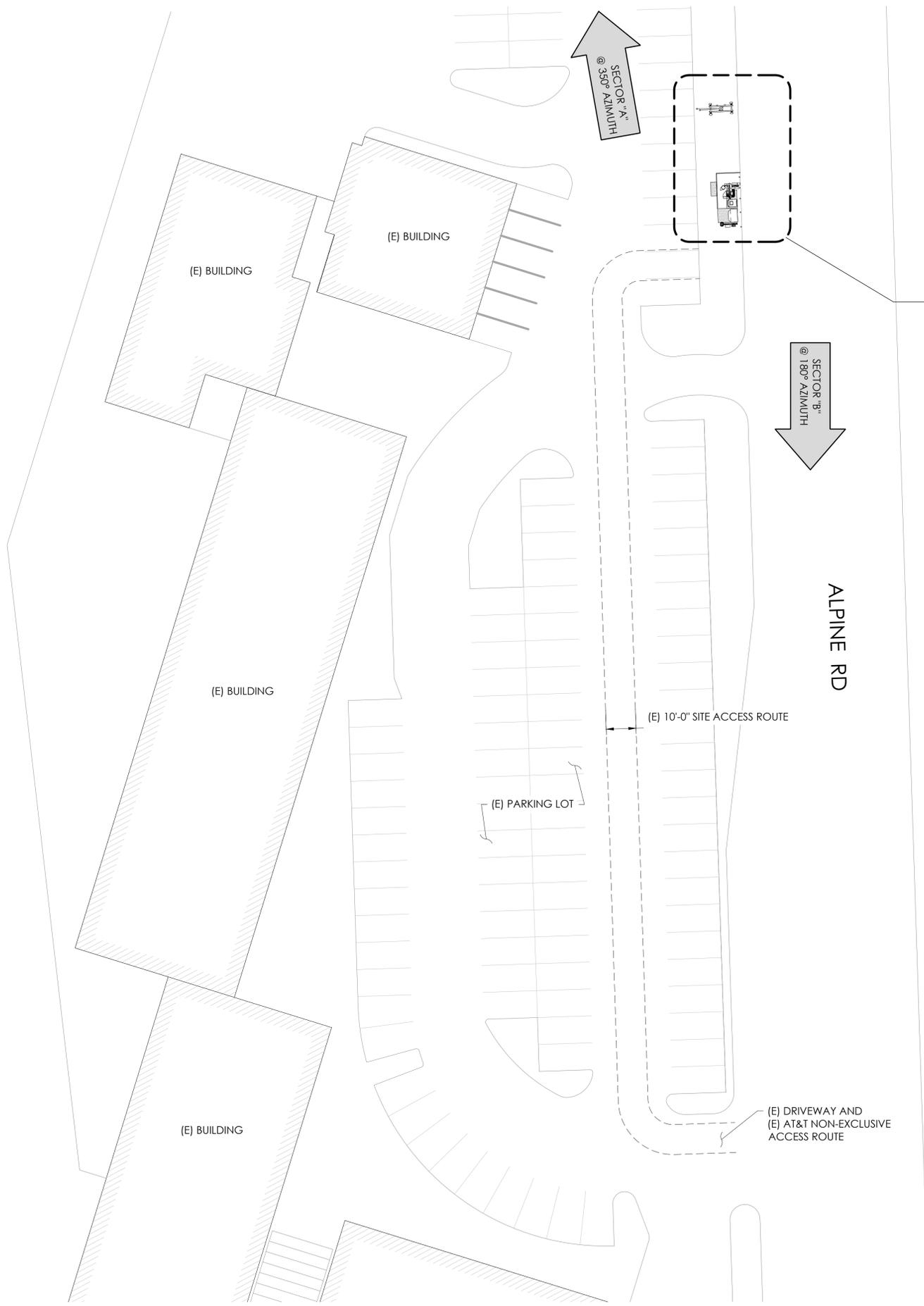
Sheet Title:

GENERAL NOTES

Sheet Number:

GN-1

THIS IS NOT A SITE SURVEY
 ALL PROPERTY BOUNDARIES, ORIENTATION OF TRUE NORTH AND STREET HALF-WIDTHS HAVE BEEN OBTAINED FROM A TAX PARCEL MAP AND EXISTING DRAWINGS AND ARE APPROXIMATE.



**No physical changes proposed.
 This site plan is for reference only.**

**(E) & ~~(P)~~ AT&T
 PROJECT AREA**
 REFER TO ENLARGED PLAN
 ON SHEET A-2



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 IRVINE, CA 92614

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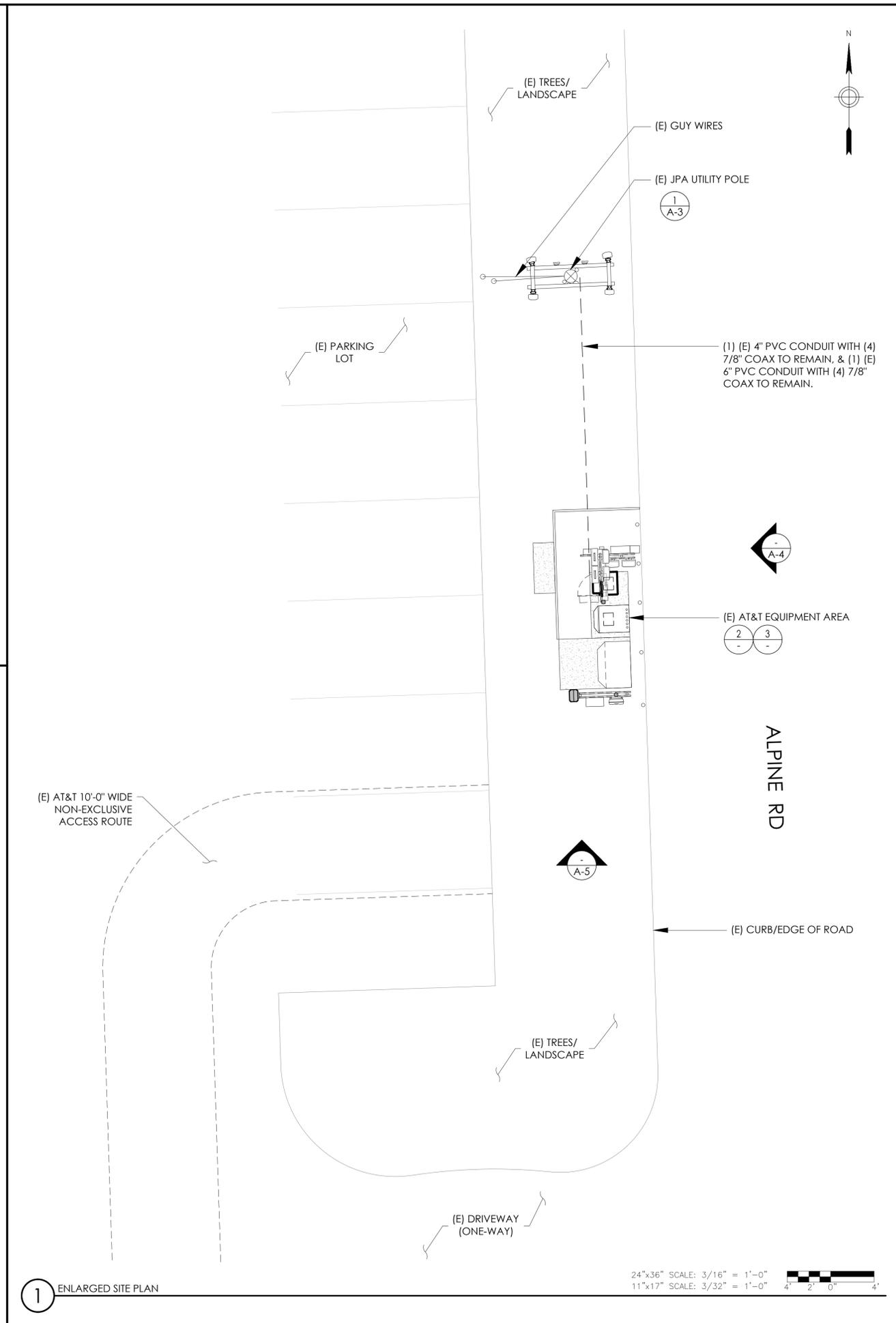
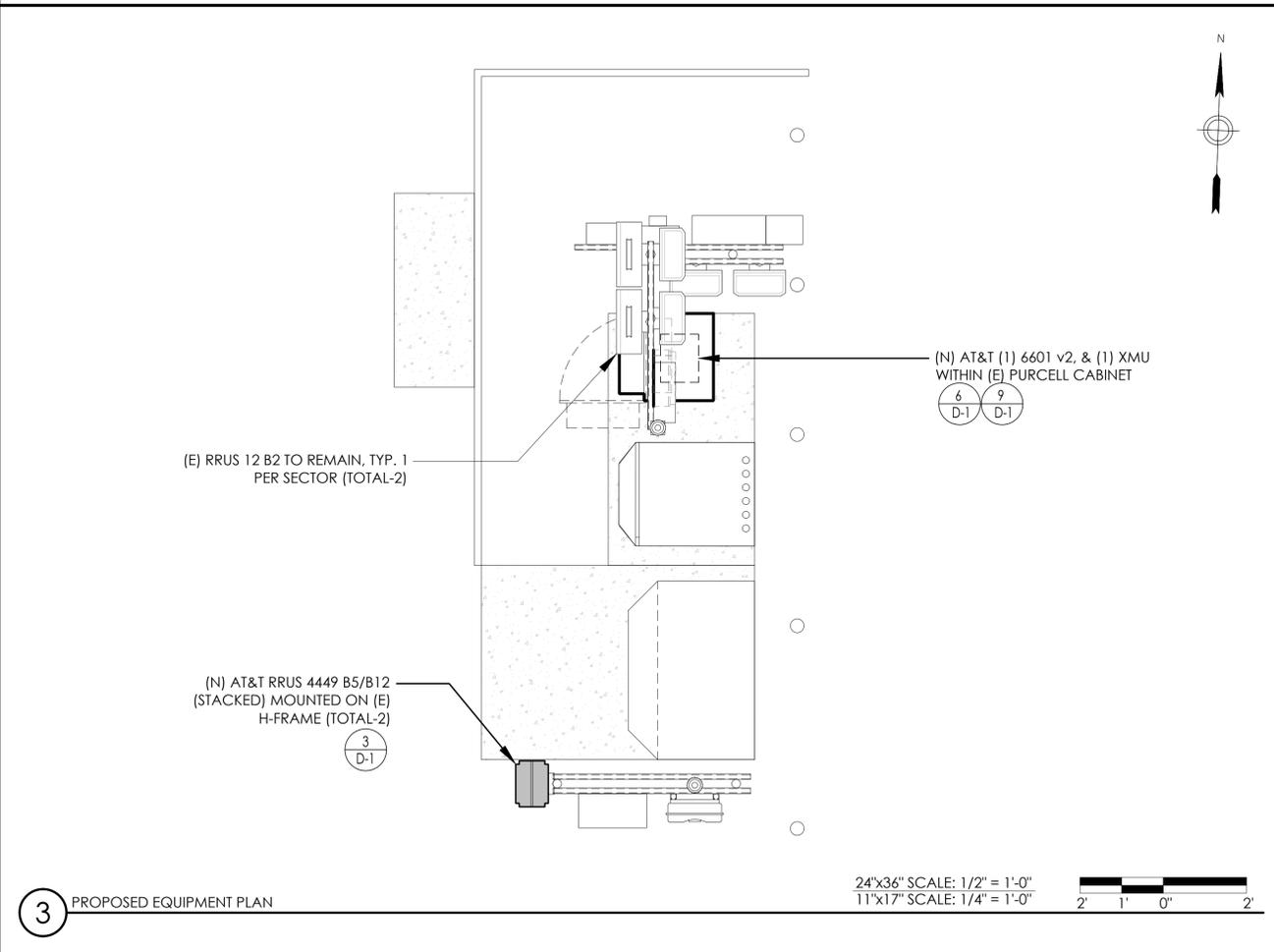
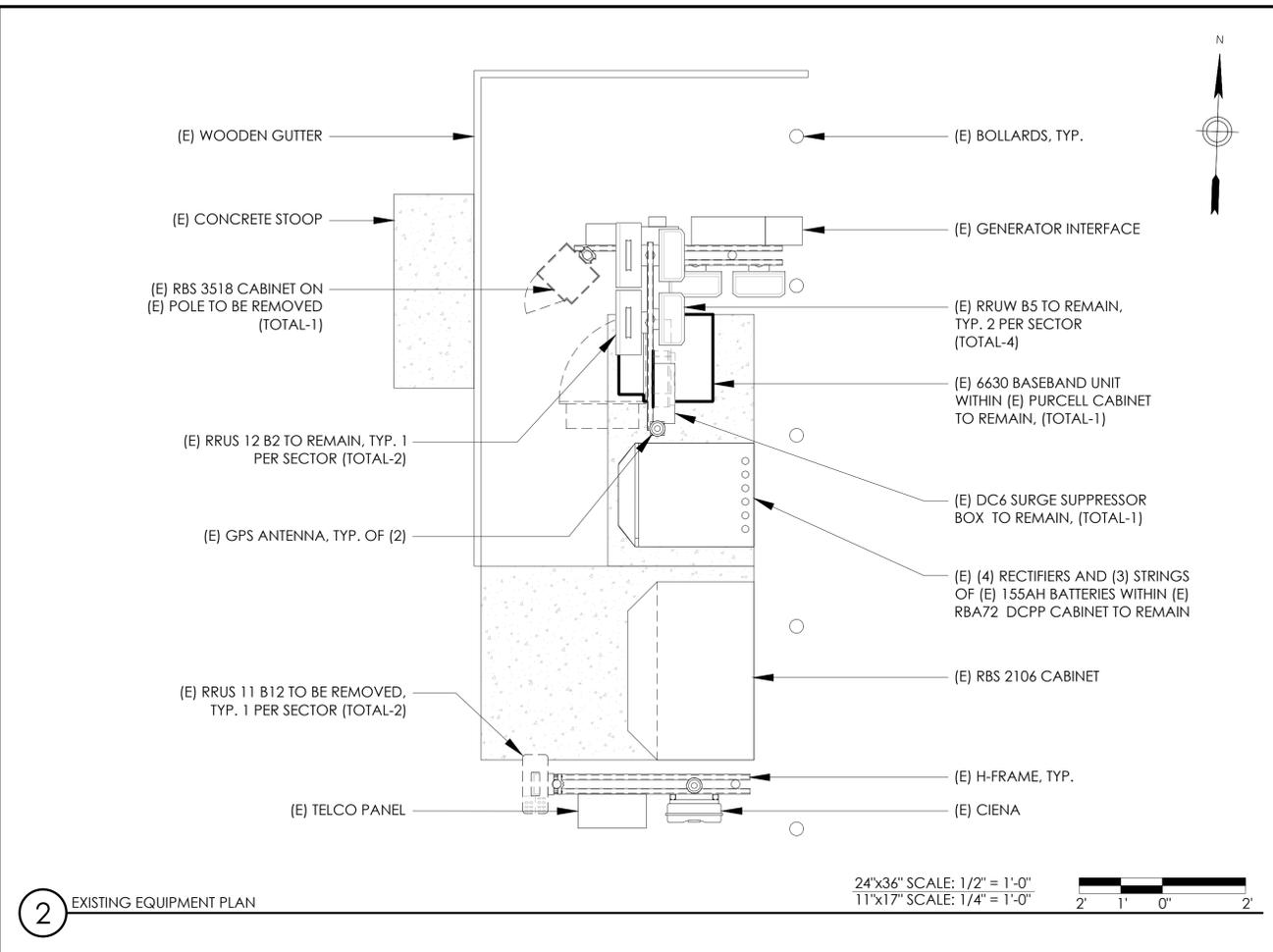
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 STATE OF CALIFORNIA
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Sheet Title:
SITE PLAN

Sheet Number:
A-1



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IRVINE, CA 92614

AT&T Site ID:

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PORTOLA VALLEY, CA
94028

Sheet Title:

ENLARGED SITE PLAN & EQUIPMENT PLANS

Sheet Number:

A-2

PREPARED FOR



5001 EXECUTIVE PKWY,
SAN RAMON CA 94583

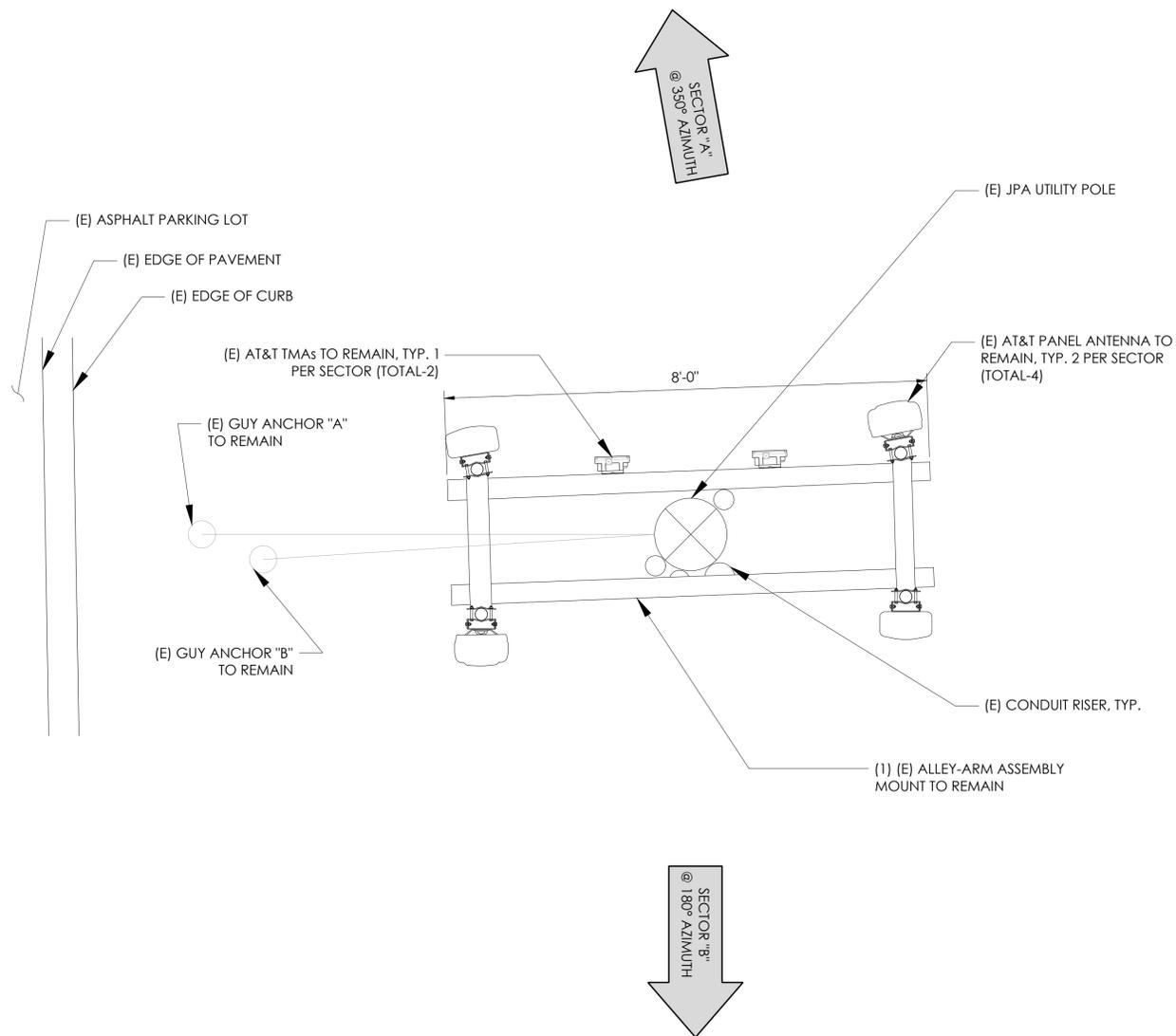
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AT&T Site ID:

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PORTOLA VALLEY, CA
94028

Sheet Title:

**EXISTING & PROPOSED
ANTENNA PLANS**

Sheet Number:

A-3





Vendor:



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IRVINE, CA 92614

AT&T Site ID:

CCL05477

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0	7/16/20	100% CD	SMR

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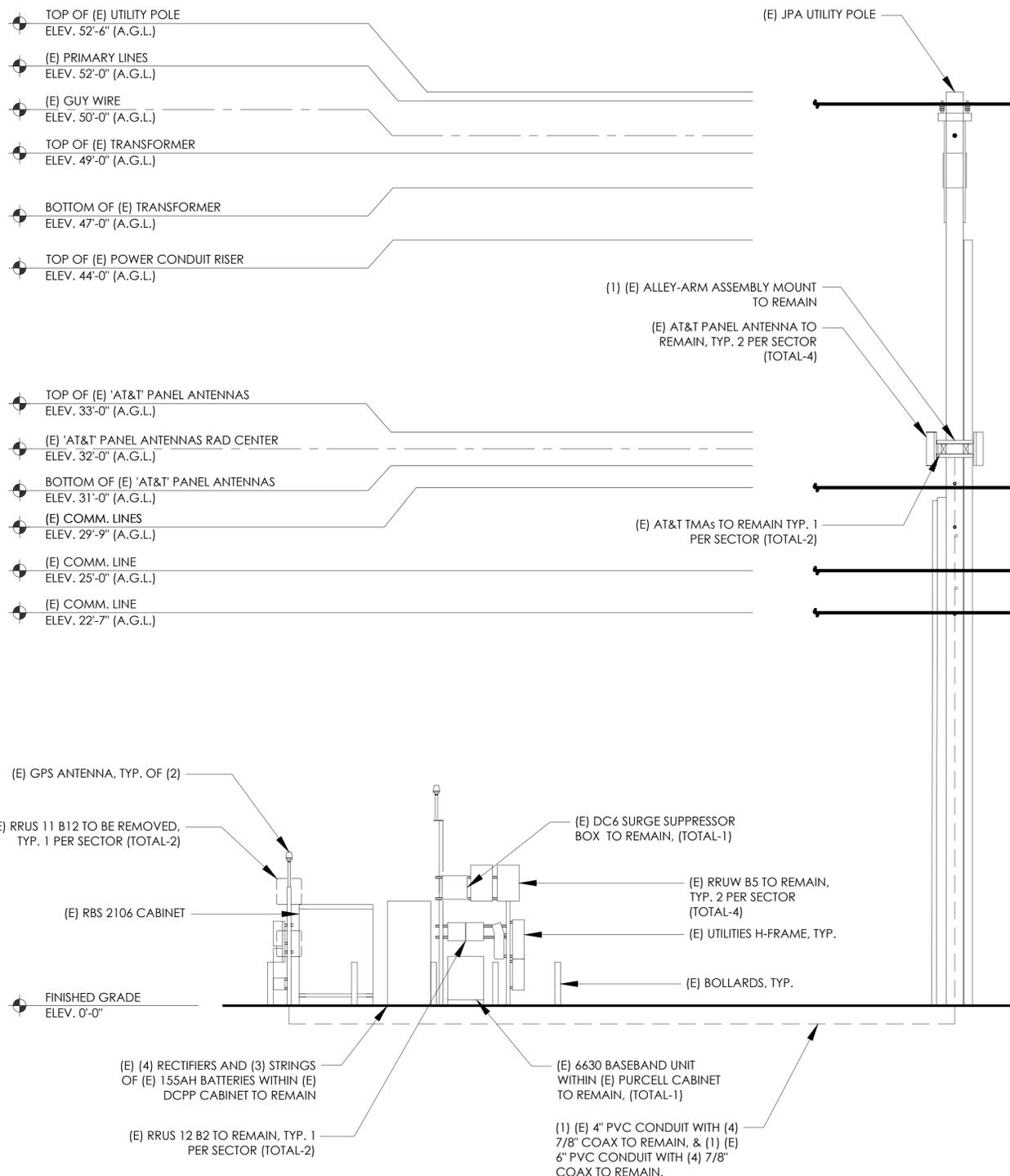
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LACUESTA DRIVE
PORTOLA VALLEY, CA
94028

Sheet Title:

**EAST
ELEVATIONS**

Sheet Number:

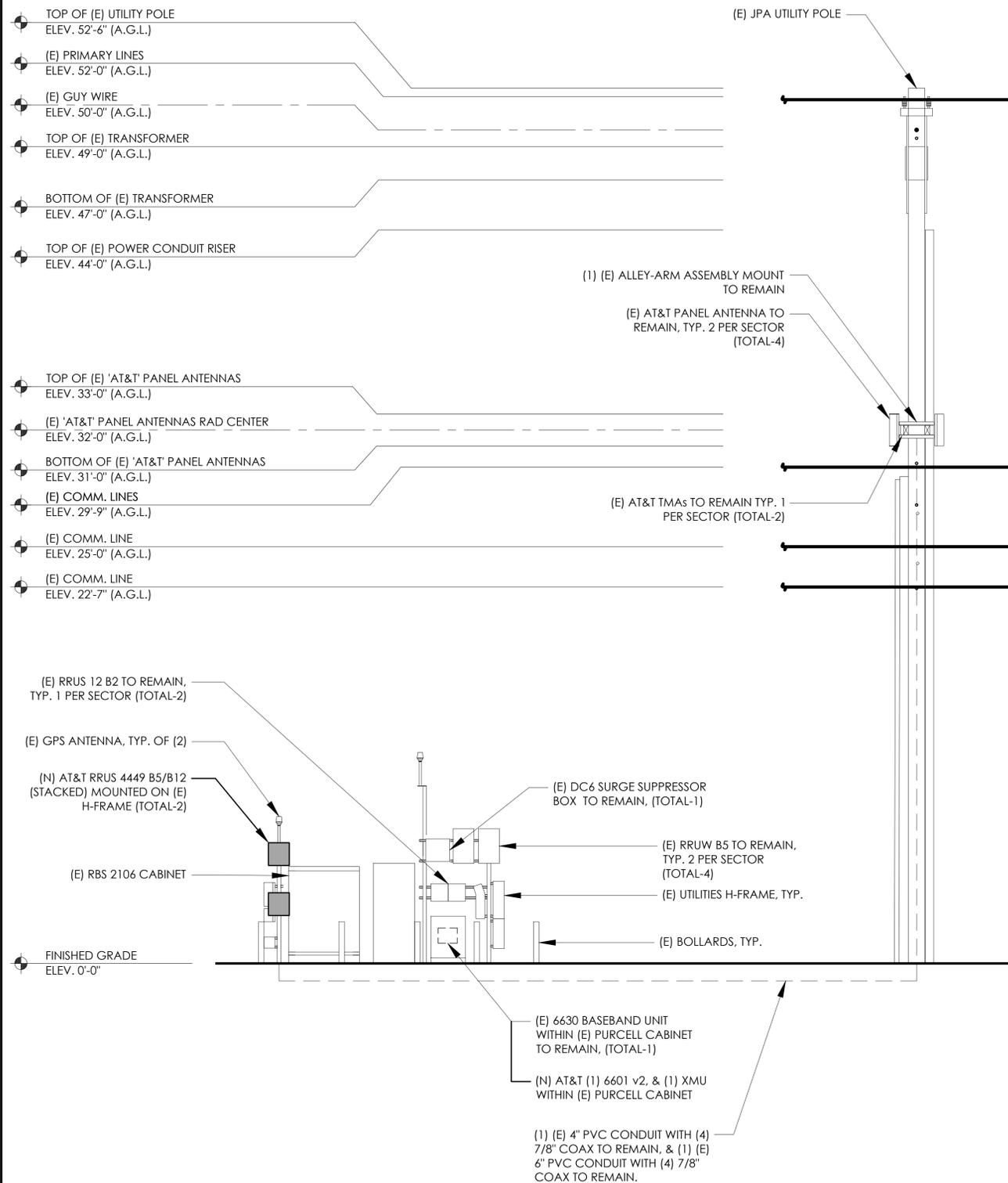
A-4



24"x36" SCALE: 1/4" = 1'-0"
11"x17" SCALE: 1/8" = 1'-0"



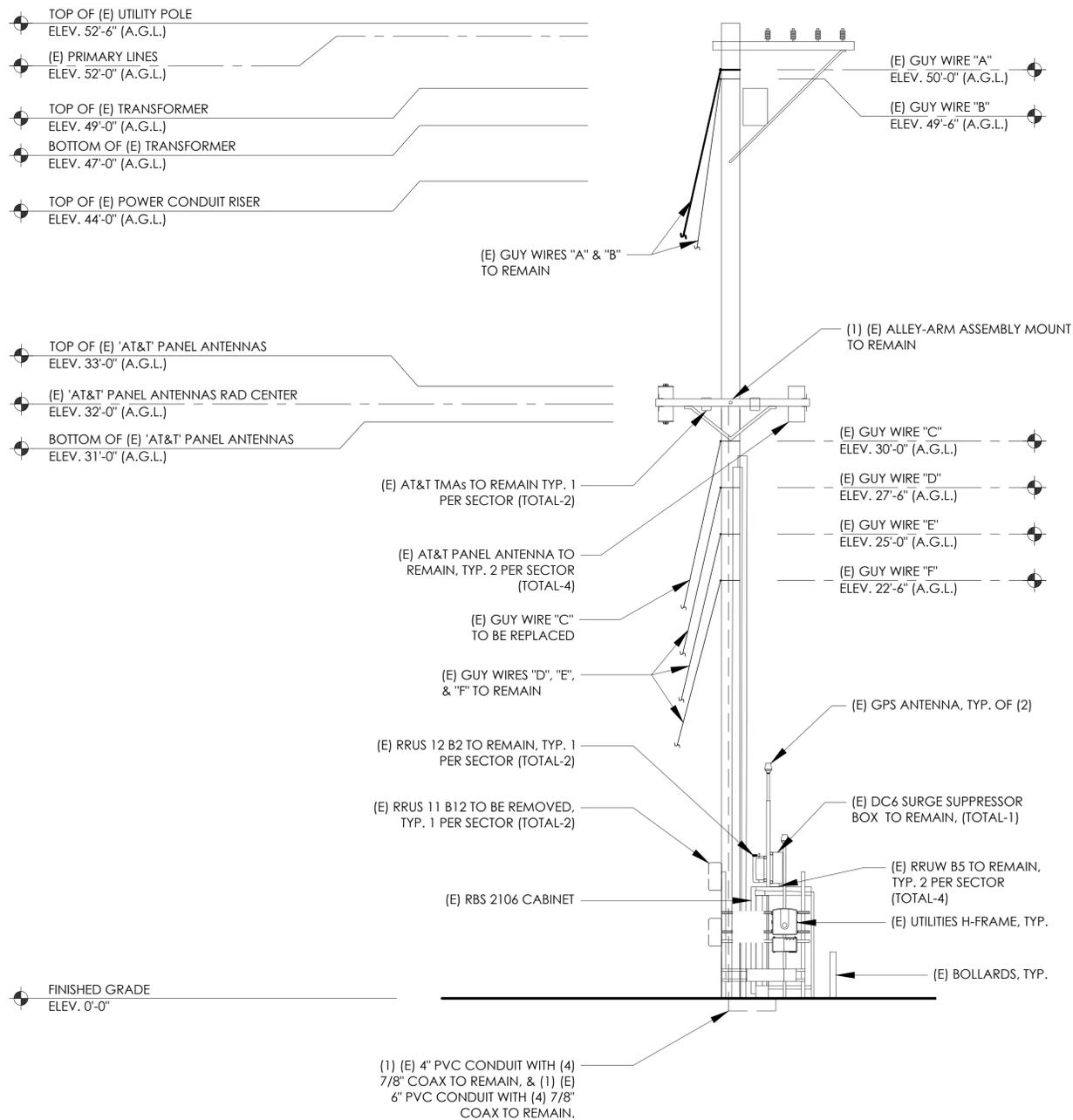
1 EXISTING EAST ELEVATION



24"x36" SCALE: 1/4" = 1'-0"
11"x17" SCALE: 1/8" = 1'-0"

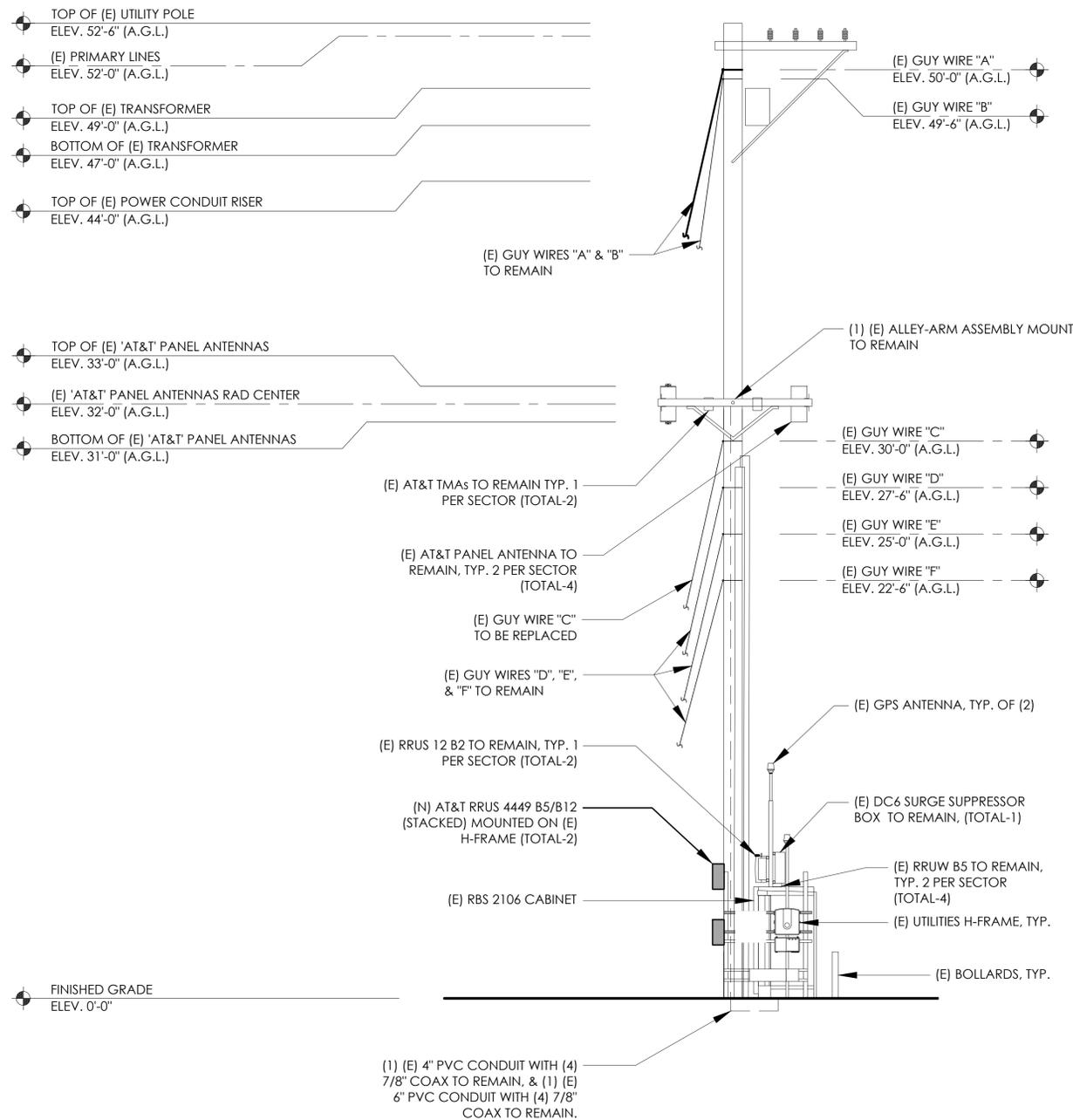


2 PROPOSED EAST ELEVATION



1 EXISTING SOUTH ELEVATION

24"x36" SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"



2 PROPOSED SOUTH ELEVATION

24"x36" SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"

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Sheet Title:

SOUTH ELEVATIONS

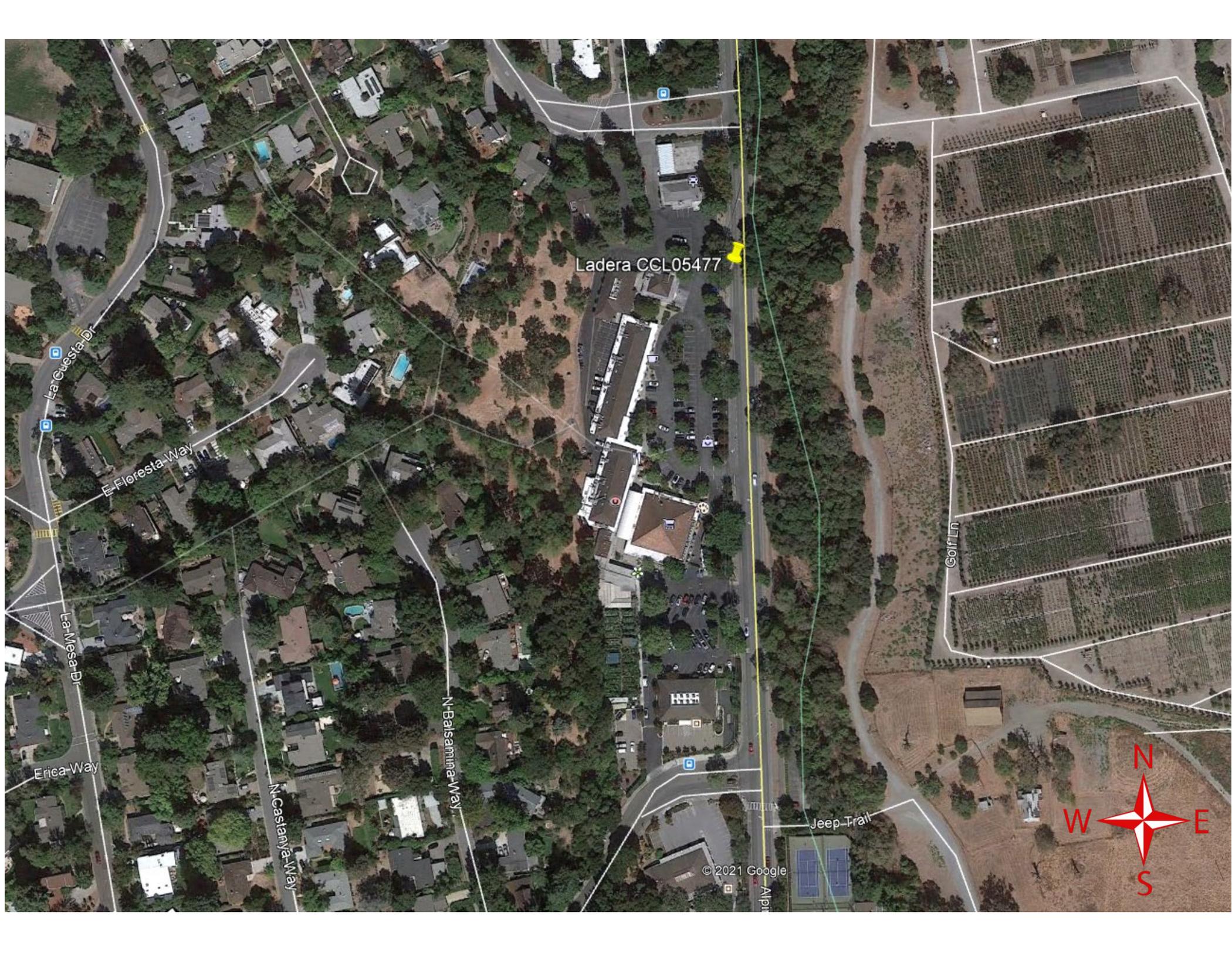
Sheet Number:

A-5



County of San Mateo - Planning and Building Department

ATTACHMENT D



Ladera CCL05477



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Call Your Sign-Off
Professional Electrician

WARNING
This equipment is energized and may contain live electrical parts. Do not touch or tamper with the equipment. For more information, call your local utility company.

Property of AT&T
Authorized Personnel Only
In case of emergency, or prior to performing
maintenance, call 800-433-3333
and follow the instructions.







CAUTION



AT&T operates antennas at this site. Beyond This Point you are entering an area where radio frequency (RF) fields exceed the FCC Occupancy Exposure Limits. Follow all safety guidelines for working in an environment could result in serious injury.

NOTICE



AT&T operates antennas at this site. Beyond This Point you are entering an area where radio frequency (RF) fields exceed the FCC Occupancy Exposure Limits. Follow all safety guidelines for working in an environment could result in serious injury.

WARNING



AT&T operates antennas at this site. Beyond This Point you are entering an area where radio frequency (RF) fields exceed the FCC Occupancy Exposure Limits. Follow all safety guidelines for working in an environment could result in serious injury.

DANGER HIGH-VOLTAGE
SUITABLE FOR USE AS SERVICE EQUIPMENT
READ FRONT REQUIRES PROTECT

170











SAJUNE





County of San Mateo - Planning and Building Department

ATTACHMENT E

Attachment A

County of San Mateo
Planning and Building Department

FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2004-00110

Hearing Date: March 7, 2013

Prepared By: Summer Burlison, Project Planner

Adopted By: Zoning Hearing Officer

FINDINGS

Regarding the Environmental Review, Found:

1. That the project is exempt from environmental review, per Section 15303, Class 3 of the California Environmental Quality Act, related to the new construction of small structures. A Categorical Exemption will be filed upon final approval of the project.

Regarding the Use Permit, Found:

2. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in said neighborhood, since the proposed modifications will be painted to blend in with the surrounding natural landscape and no modifications to the facility's existing antennas or changes in radio frequency emissions are proposed. Furthermore, the site will continue to require only minimal routine service visits of the otherwise non-staffed facility. Therefore, no additional traffic or noise will be generated, and the amendment will not intensify the use of the property.
3. That the amendment request is necessary for the public health, safety, convenience or welfare by providing more advanced services and features to its customers (private citizens and public agencies, including emergency services) without requiring new or additional sites. Furthermore, there is no evidence to suggest that the operation or proposed modification to this facility has or would cause a detriment to the public health or safety.

CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies to the proposal, documents and plans described in this report and submitted to and approved by the Zoning Hearing Officer on March 7, 2013. Minor modifications to the project may be approved by the Community Development Director if they are consistent with the intent of, and in substantial conformance with, this approval.
2. The use permit shall be valid for ten (10) years from the date of final approval, and shall expire on March 7, 2023. The applicant shall apply for renewal of the use permit, and pay applicable renewal fees six (6) months prior to expiration.
3. Any change in use or intensity shall require an amendment to the use permit. Amendment to this use permit requires an application for amendment, payment of applicable fees, and consideration at a public hearing.

4. The applicant shall receive and maintain all necessary licenses and registrations from the Federal Communications Commission (FCC) and any other applicable regulatory bodies for the operation of the subject facility at this site. The applicant shall supply the Planning Department with evidence of such licenses and registrations when requested to do so. If any required license is ever revoked, the applicant shall inform the Planning Department of the revocation within ten (10) days of receiving notice of such revocation.
5. This facility shall not be lighted or marked unless required by the FCC or the Federal Aviation Administration (FAA).
6. This facility and all equipment associated with it shall be removed in its entirety by the applicant within ninety (90) days if the FCC license and registration are revoked or if the facility is abandoned or no longer needed, and the site shall be restored and revegetated to blend with the surrounding area. The owner and/or operator of the facility shall notify the Planning Department upon abandonment of the facility. Restoration and revegetation shall be completed within two (2) months of the removal of the facility.
7. Prior to the issuance of a building permit, the applicant shall submit color samples for the new equipment for review and approval by the Community Development Director. All new equipment shall be painted a non-reflective dark green color to match the existing ground equipment. The applicant shall submit photos to the Current Planning Section for color verification after the applicant has painted the equipment the approved color, but before a final building inspection is scheduled.
8. The applicant shall maintain the existing shrubs around the equipment pad area in good condition and shall promptly replace any damaged or removed shrubs with like species (*Viburnum tinus* "Compacta").
9. This permit does not allow for the removal or trimming of any trees. Removal of any tree with a diameter greater than 12 inches as measured 4.5 ft. above the ground shall require a separate tree removal permit. Furthermore, should tree trimming become necessary to accommodate the facility modifications, the applicant shall notify the Current Planning Section prior to the commencement of any tree trimming work.
10. If a less visually obtrusive/reduced antenna technology becomes available for use during the life of this project, the applicant shall present a redesign incorporating this technology into the project for review by the Community Development Director. This installation shall be removed in its entirety at that time when this technology becomes obsolete or this facility is no longer needed.
11. The applicant shall not enter into a contract with the landowner or lessee which reserves for one company exclusive use of structures on this site for telecommunications facilities.
12. All construction activities associated with the proposed project shall be limited from 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturday. Construction activities will be prohibited on Sunday and any nationally observed holiday.
13. A green information (INFO 2) sign shall be posted at the base of the utility pole. The applicant shall submit photo verification of compliance with this condition to the Current Planning Section prior to building permit final.
14. The wireless carrier is responsible for maintaining the facility and surrounding area in a manner consistent with all County regulations, including conditions of approval applied to its use permit. The use permit shall be maintained in an "active," non-expired status. Non-compliance with any applicable County regulations may result in the initiation of a violation case and referral of the case to the Planning and Building Department's Code Compliance Section.

15. For future ownership identification purposes, the carrier's name shall be posted (durable material and legible print) at the equipment lease area for this facility. The applicant shall submit photos to the Current Planning Section verifying compliance with this condition prior to building permit final.
16. This permit approval does not authorize or approve the installation of any fencing around the equipment area.

Building Inspection Section

17. A building permit shall be issued prior to the start of any construction work associated with this amendment approval.

Department of Public Works

18. No construction work within the County right-of-way shall begin until Public Works requirements for the issuance of an encroachment permit, including review of applicable plans, have been met and an encroachment permit issued by the Department of Public Works.